

0.07 0 0.04 0.07 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
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1:2,256



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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Planning and Building Department

Application for Design Review by the County Coastside Design Review Committee

County Government Center • 455 County Center • Redwood City CA 94063
Mall Drop PLN 122 • 650 • 363 • 4161 • FAX 650 • 363 • 4849

Permit #: PLN 2015-60268

Other Permit #: _____

1. Basic Information

Applicant:

Name: HENRY YEUNG (Janis Tillerwood Architect)

Address: 1862 31st AVE

SAN FRANCISCO Zip: CA 94122

Phone, W: 415.333.3535 H: _____

Email: hy.pro.engr@gmail.com

Owner (if different from Applicant):

Name: JOSEPHINE LAI

Address: 321 7th St

MONTECITA Zip: CA 94037

Phone, W: 415.753.1386 H: _____

Email: _____

Architect or Designer (if different from Applicant):

Name: _____

Address: _____ Zip: _____

Phone, W: _____ H: _____ Email: _____

2. Project Site Information

Project location:

APN: 036.022.080

Address: 321 7th St

MONTECITA Zip: CA 94037

Zoning: R-1-S-17

Parcel/lot size: 4507 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe):
(E) 2 STORIES SINGLE FAMILY HOME

3. Project Description

Project:

- New Single Family Residence: _____ sq. ft
- Addition to Residence: 579 sq. ft
- Other: _____

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Describe Project:

(2) STORIES REAR HORIZONTAL ADDITION

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
	* MATCH EXISTING	* MATCH EXISTING	
a. Exterior walls	STUCCO *	GRAY *	<input type="checkbox"/>
b. Trim	WOOD *	WHITE *	<input type="checkbox"/>
c. Windows	VINYL *	WHITE *	<input type="checkbox"/>
d. Doors	WOOD *	WHITE *	<input type="checkbox"/>
e. Roof	SHINGLE *	GRAY *	<input type="checkbox"/>
f. Chimneys	(E) BRICK *	(E) RED *	<input type="checkbox"/>
g. Decks & railings	PT SPR WOOD	W BROWN *	<input type="checkbox"/>
h. Stairs	(E) WOOD	(E) BROWN	<input type="checkbox"/>
i. Retaining walls	N/A	N/A	<input type="checkbox"/>
j. Fences	(E) WOOD	(E) WOOD	<input type="checkbox"/>
k. Accessory buildings	T.B. DEMOLISHED	N/A	<input type="checkbox"/>
l. <u>Garage</u> /Carport	(E) STUCCO *	(E) GRAY	<input type="checkbox"/>

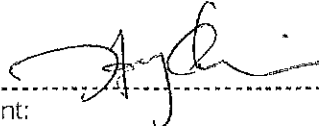
5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: _____ Applicant: 

Date: _____ Date: 6.29.15

Planning and Building Department

455 County Center, 2nd Floor • Redwood City, CA 94063
 Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

Application for a Coastal Development Permit

Companion Page

Applicant's Name: Henry Young
 Primary Permit #:

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse-side of the Planning Permit Application Form.

2. Basic Information

Does the owner or applicant own any adjacent property not listed?

Yes No

If yes, list Assessor's Parcel Number(s):

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?

Yes No

If yes, explain (include date and application file numbers).

3. Materials and Finish of Proposed Buildings or Structures

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:	Material	Color/Finish	Check if matches existing
a. Exterior Walls	<u>Stucco</u>	<u>*</u>	<input checked="" type="checkbox"/>
b. Trim	<u>Wood</u>	<u>*</u>	<input checked="" type="checkbox"/>
c. Roof	<u>Shingle</u>	<u>*</u>	<input checked="" type="checkbox"/>
d. Chimneys	<u>/</u>	<u>/</u>	<input type="checkbox"/> N/A
e. Accessory Buildings	<u>/</u>	<u>/</u>	<input type="checkbox"/> N/A
f. Decks/Stairs	<u>Wood</u>	<u>*</u>	<input checked="" type="checkbox"/>
g. Retaining Walls	<u>/</u>	<u>/</u>	<input type="checkbox"/> N/A
h. Fences	<u>/</u>	<u>/</u>	<input type="checkbox"/> N/A
i. Storage Tanks	<u>/</u>	<u>/</u>	<input type="checkbox"/> N/A

4. Project Information

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- | | Yes | No |
|---|--------------------------|-------------------------------------|
| a. Demolition of existing housing units? (If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. Creeks, streams, lakes or ponds? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d. Beaches? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e. Sand Dunes? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g. Ridgetops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| i. Removal of trees or vegetation? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| j. Grading or alteration of landforms? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| k. Landscaping? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| l. Signs? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| m. Phone or Utility line extensions or connections, either above or below ground (explain which)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| n. Areas subject to flooding? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| o. Development on slopes 30% or steeper? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

- | | | |
|--|--------------------------|-------------------------------------|
| p. Between the sea and the nearest public road? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| r. Public or commercial recreation facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| s. Visitor-serving facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| t. Existing or proposed public trail easements? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Explain all Yes answers below. Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

5. Staff Use Only

California Coastal Commission Jurisdiction

A. Does the Proposed Project Involve:

- A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?
 Yes No
- Construction or grading within 100 feet of a stream or wetland?
 Yes No
- A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?
 Yes No

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

Commission; a public hearing is always required.

B. Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).

Yes No

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: _____

Environmental Information Disclosure Form

PLN 2015-00268
 BLD _____

Project Address: 321st Tth St.
Menlo Park, CA 94037

Assessor's Parcel No.: 036 - 022 - 080.

Zoning District: R-1-S-17

Name of Owner: Joseph G. Lee
 Address: 321 Tth St, Menlo Park, CA 94037
 Phone: 415-753-1382

Name of Applicant: Henry Young
 Address: 1862 31st Ave, S.F., CA 94122
 Phone: 415.333.3535

Existing Site Conditions

Parcel size: 4507

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).

(E) (2) STORY BRICK FAMILY HOUSE w/ (1) (2) STORY REAR HORIZONTAL DEVELOPMENT

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
	<input checked="" type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : _____ c.y. Fill: _____ c.y.
	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

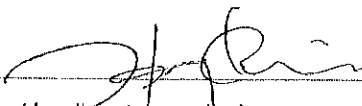
Please explain all "Yes" answers:

2. National Marine Fisheries Rule 4(d) Review		
Yes	No	Will the project involve:
<input checked="" type="checkbox"/>		a. Construction outside of the footprint of an existing, legal structure?
	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?
Please explain any "Yes" answers:		

3. National Pollutant Discharge Elimination System (NPDES) Review		
Yes	No	Will the project involve:
	<input checked="" type="checkbox"/>	a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
	<input checked="" type="checkbox"/>	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

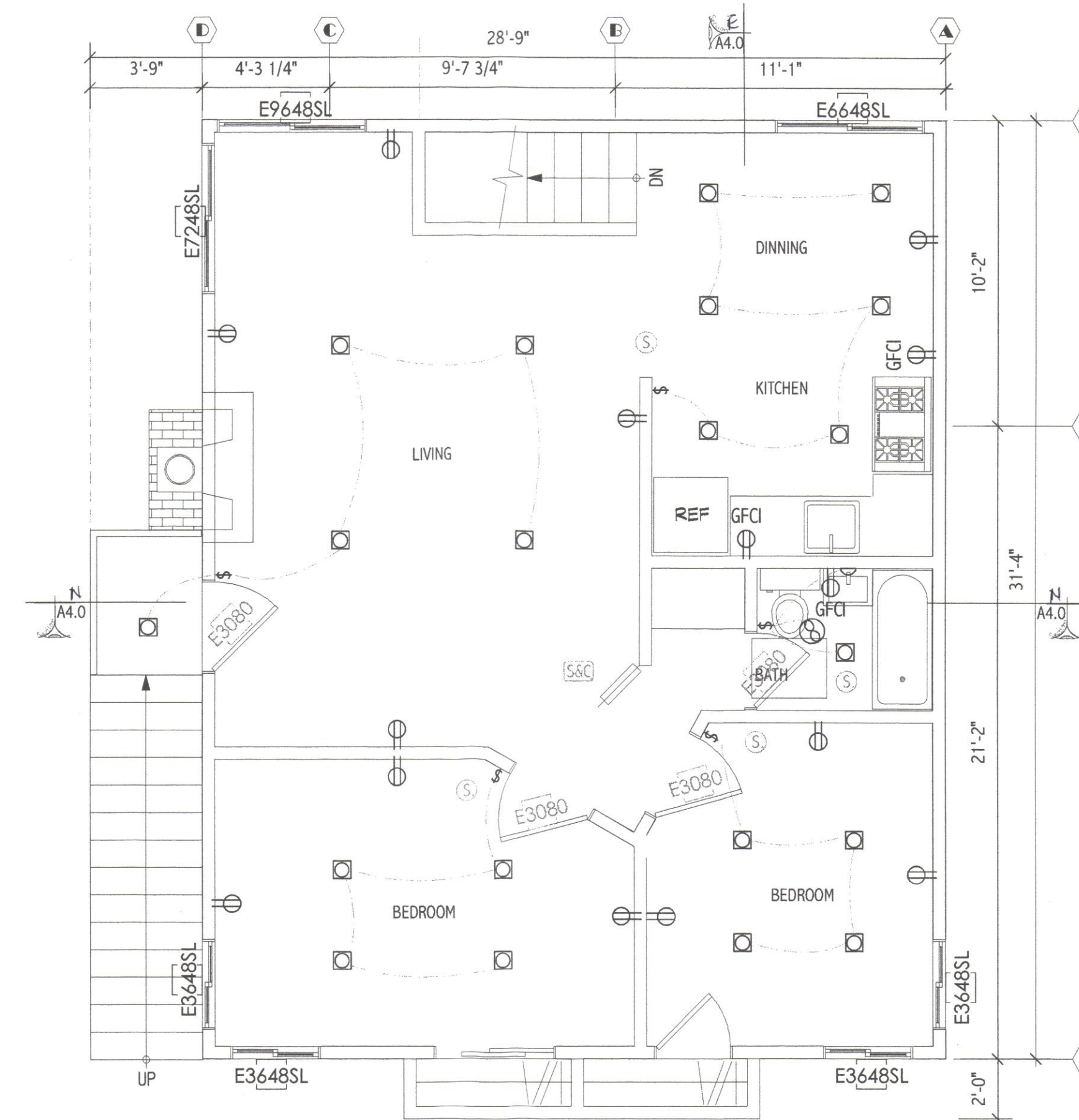


I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

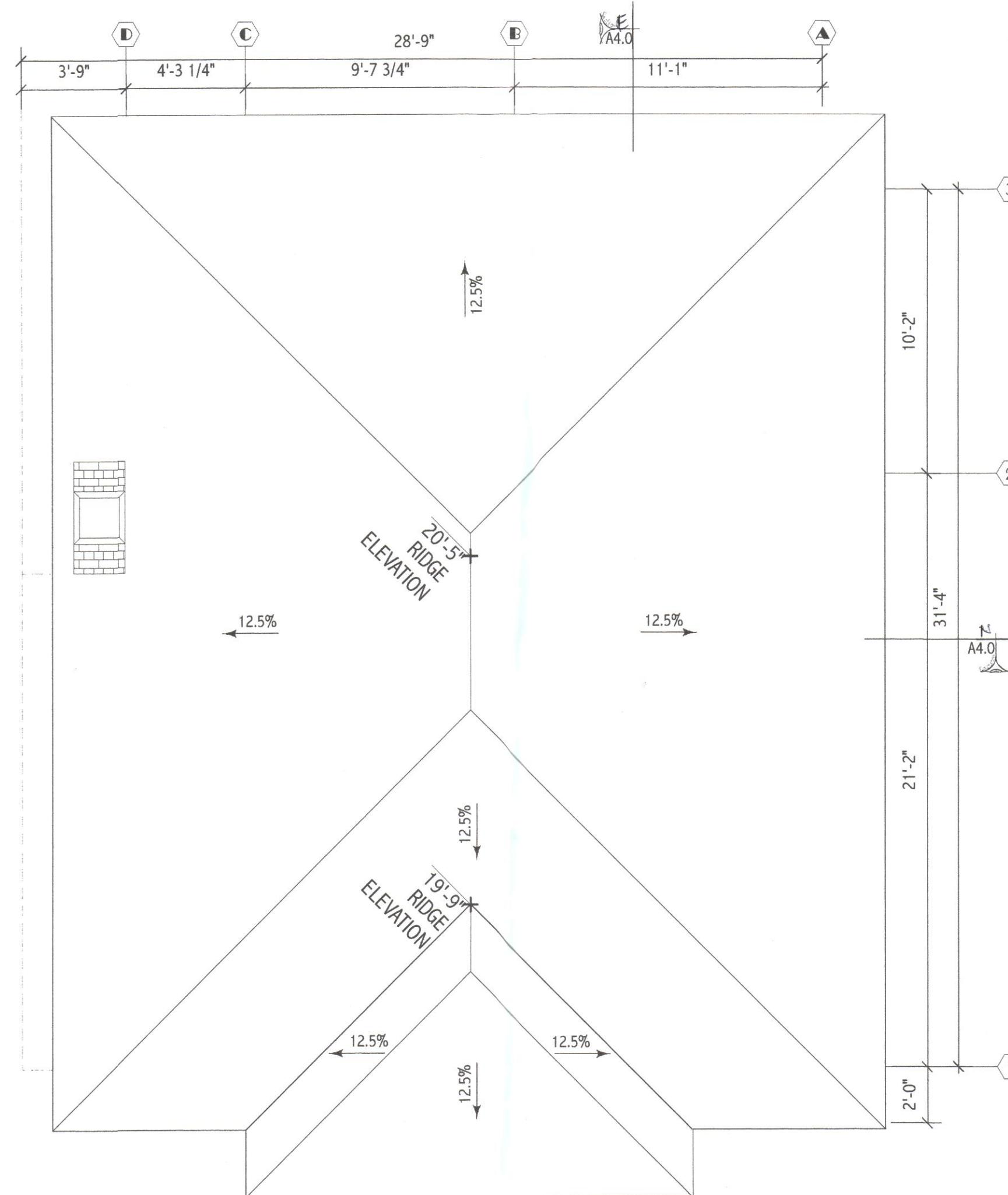
Signed:  Date: 6-29-15
 (Applicant may sign)

LEGEND

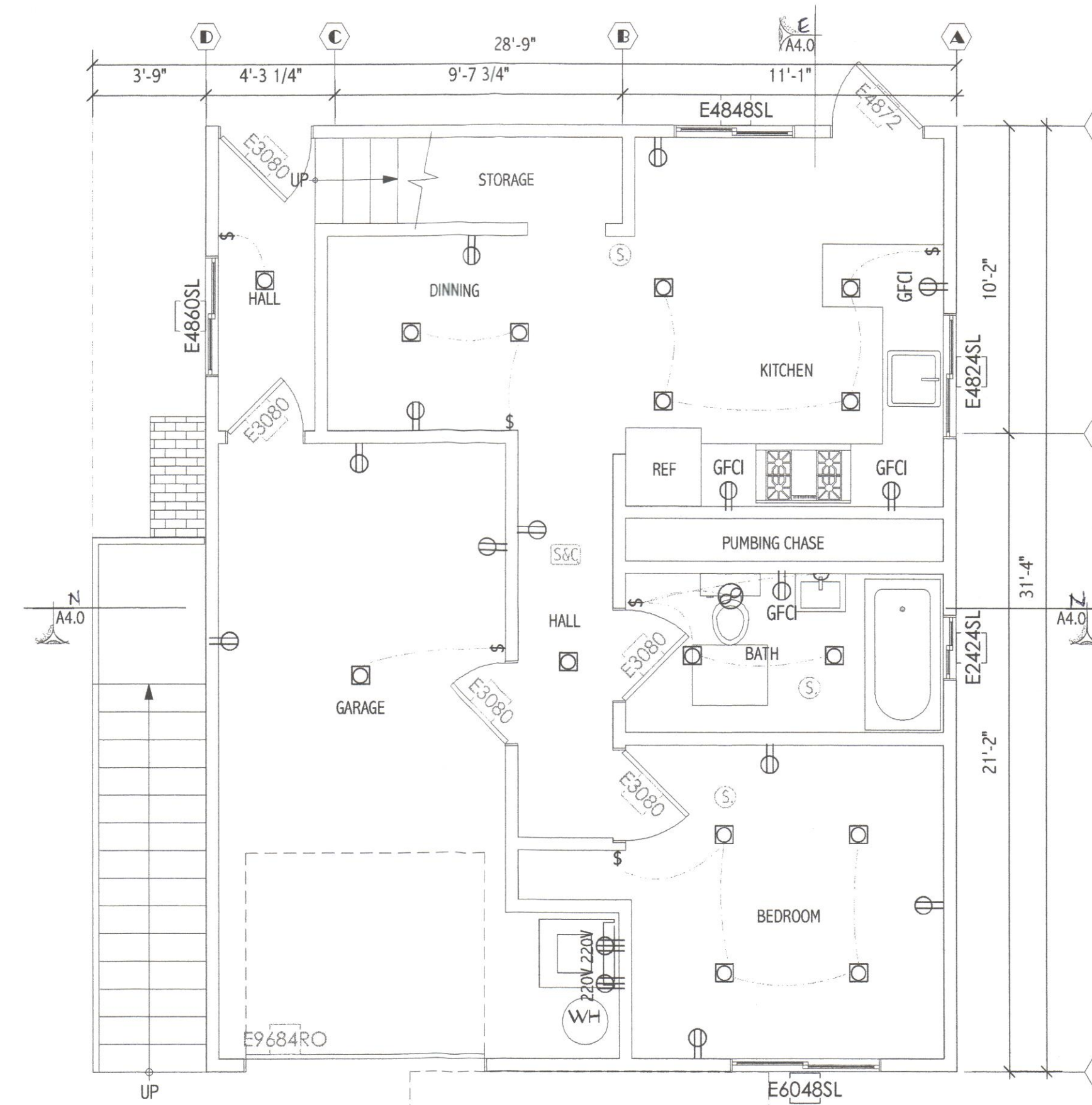
- | | | | |
|---|--|----------|--|
| Ⓢ | WALL SWITCH | N3680 | (E) OR (N) DOOR SIZE (IN X IN) |
| Ⓜ | AFCI PROTECTED DUPLEX OUTLET PER CBC 210.12(B) | (3)N3648 | (E) OR (N) WINDOW SIZE (IN X IN) |
| Ⓜ | 220V | SH15% | GLAZING AREA TO HABITABLE SPACE PERCENTAGE |
| Ⓜ | GROUND FAULT CIRCUIT INTERRUPTED DUPLEX OUTLET | SL | SL = SLIDER, SH = SINGLE HUNG, F = FIX |
| Ⓜ | IC RATED FLUSH MOUNTED CANS W/ELECTRONIC BALLAST & AIR-TIGHT | * | * = 45 MIN SOLID CORE DOOR W/ SELF CLOSER |
| Ⓜ | SCONCE LIGHT | --- | 5/8" TYPE "X" GYPBD |
| Ⓜ | APPROVED EXHAUST FAN | --- | R-19 WALL INSULATION |
| Ⓜ | FLOOR DRAINAGE ACCESS | --- | (E) WALL |
| Ⓜ | UPGRADE ELECTRICAL PANEL TO 100AMP OR V.I.F. | --- | (E) WALL TO BE REMOVED |
| Ⓜ | SMOKE ALARM | ⊙ | (N) WALL |
| Ⓜ | SMOKE & CARBON MONOXIDE ALARM | ⊙ | 12"Ø LIGHT TUNNEL |
| | | ⊙ | 2'-0" X 4'-0" SKYLIGHT |



(E) 2FL PLAN
 SCALE: 1/4" = 1'-0"
 NO CHANGE IN LAYOUT



(E) ROOF PLAN
 NO CHANGE IN LAYOUT
 ELEVATION RELATIVE TO GRADE ELEVATION
 SCALE: 1/4" = 1'-0"



(E) 1FL PLAN
 SCALE: 1/4" = 1'-0"
 NO CHANGE IN LAYOUT



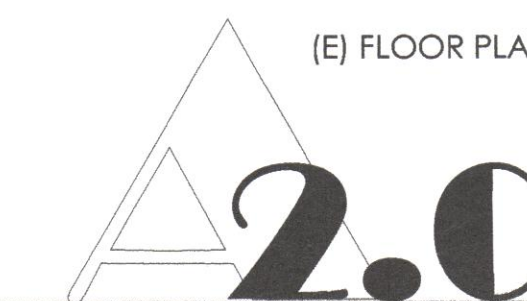
415.333.3535
 1842 31st Avenue
 San Francisco, Ca 94122
 hj.pro.engr@gmail.com



SUBMITTAL DATE
 PERMIT SET 06.29.15

OWNER: JOSEPHINE LAI
 321 7TH ST
 MONTARA, CA 94037

PROJECT: **321 7th ST**
MONTARA, CA 94037
 REAR (2) STORY ADDITION
 (E) FLOOR PLAN



HVAC

1. DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED PER SECTION 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.
2. PROVIDE HVAC SYSTEM CARRIER 58MBV0100-20 (LOW HEAT) AND DOMESTIC HOT WATER SYSTEM A O SMITH WATER PRODUCTS FPSH-75

IRRIGATION SYSTEM
AUTOMATIC CONTROLLER INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED (4.304.1)

UTILITY CONDUIT

1. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (4.406.1)
2. COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.504.1)

SEALANT

1. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.2.1)
2. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2)
3. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS (4.504.2.3). VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.
4. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.3)

FLOORING

1. MINIMUM 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SECTION 4.504.4.
2. PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.

FOUNDATION

INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS.

BUILDING MATERIAL

CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE.

STUCCO WALL

1. STUCCO APPLIED WITH A 3 COAT APPLICATION WHEN APPLIED OVER METAL LATH OR WIRE LATH PER CRC R703.6.2
2. PROVIDE 2 LAYERS OF GRADE "D" PAPER UNDER CEMENT PLASTER COVERING WHEN APPLIED OVER WOOD SHEATHING PER CRC R703.6.3
3. PROVIDE WEEP SCREED AT THE BOTTOM OF STUCCO WALLS AT A LOCATION A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS PER CRC R703.6.2.1

WINDOW & SKYLIGHT

1. ALL WINDOW WITHIN 5'-0" OF BATH TUB OR SHOWER SHALL BE TEMPERED GLASS. ALL (N) WINDOWS USE TEMPERED GLASS TYP.
2. ALL SKYLIGHT WILL BE MILGRAD 750, ALUMINUM FRAME, OBSCURE, AND LOW-E GLASS. U-FACTOR 0.41, SHGC 0.25.

ELECTRICAL

(1) PROVIDE SMOKE DETECTOR AND MONOXIDE DETECTOR W/ BACKUP BATTERY TO BE INSTALLED AS REQUIRED

WETBAR

(1) ALL SURFACES SUBJECT TO WATER SPLASH TO BE PROTECTED WITH WATER RESISTANT FINISH MATERIALS SUCH AS TILE. INSTALL MOISTURE BARRIERS.
(2) ANY FIXTURE SHALL HAVE 15" CTR TO ANY OBSTRUCTION & 30" CTR TO CTR OF ADJACENT FIXTURE UNLESS OTHERWISE NOTICED.

LIGHTING

(1) BATH: ALL LIGHT FIXTURES (MINIMUM ONE) SHALL EITHER BE HIGH EFFICACY (FLUORESCENT). OTHER LIGHT MAY BE CONTROLLED BY AN OCCUPANT SENSOR. CLOSETS THAT ARE LESS THAN 70 SQUARE FEET ARE EXEMPT FROM THIS REQUIREMENT.
(2) BEDROOM/LIVING AREA: (N) LIGHTING MUST BE HIGH-EFFICACY OR CONTROLLED BY DIMMER OR OCCUPANCY SENSOR SWITCH.

SMOKE & CARBON MONOXIDE DETECTORS

PROVIDE SMOKE & CARBON MONOXIDE DETECTORS AT EACH (E) & (N) ROOM OR AREA AT 5'-0" NEARBY EACH DOOR OR ROOM TRANSITION AREA EXCEPT CLOSET, AND STORAGE WITHOUT GAS OPERATED EQUIPMENT.

PLUMBING FIXTURES

PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 & CALGREEN SECTION 301.1, ALL BUILDING ALTERNATIONS REQUIRE ALL (E) PLUMBING FIXTURES FLOW RATES TO CURRENT CODE COMPLIANCE. WATER CLOSETS >1.6GPF REPLACE WITH MAXIMUM 1.28GPF. SHOWER HEAD >2.5GPF REPLACE WITH MAXIMUM 2.0GPF. LAVATORY & KITCHEN FAUCETS >2.2GPF REPLACE WITH 1.56GPF (1.8GPF FOR KITCHEN FAUCET).

STAIR & HALLWAY

1. (N) INTERIOR STAIR 3'-0" (MIN) WIDE WITH 7"(7.75" MAX) HEIGHT BY 11" (10" MIN) WIDE TREAD TYPICAL.
2. HALLWAY MIN 36" WIDE
3. GUARDRAIL PER DETAIL 9/53.1

BATH

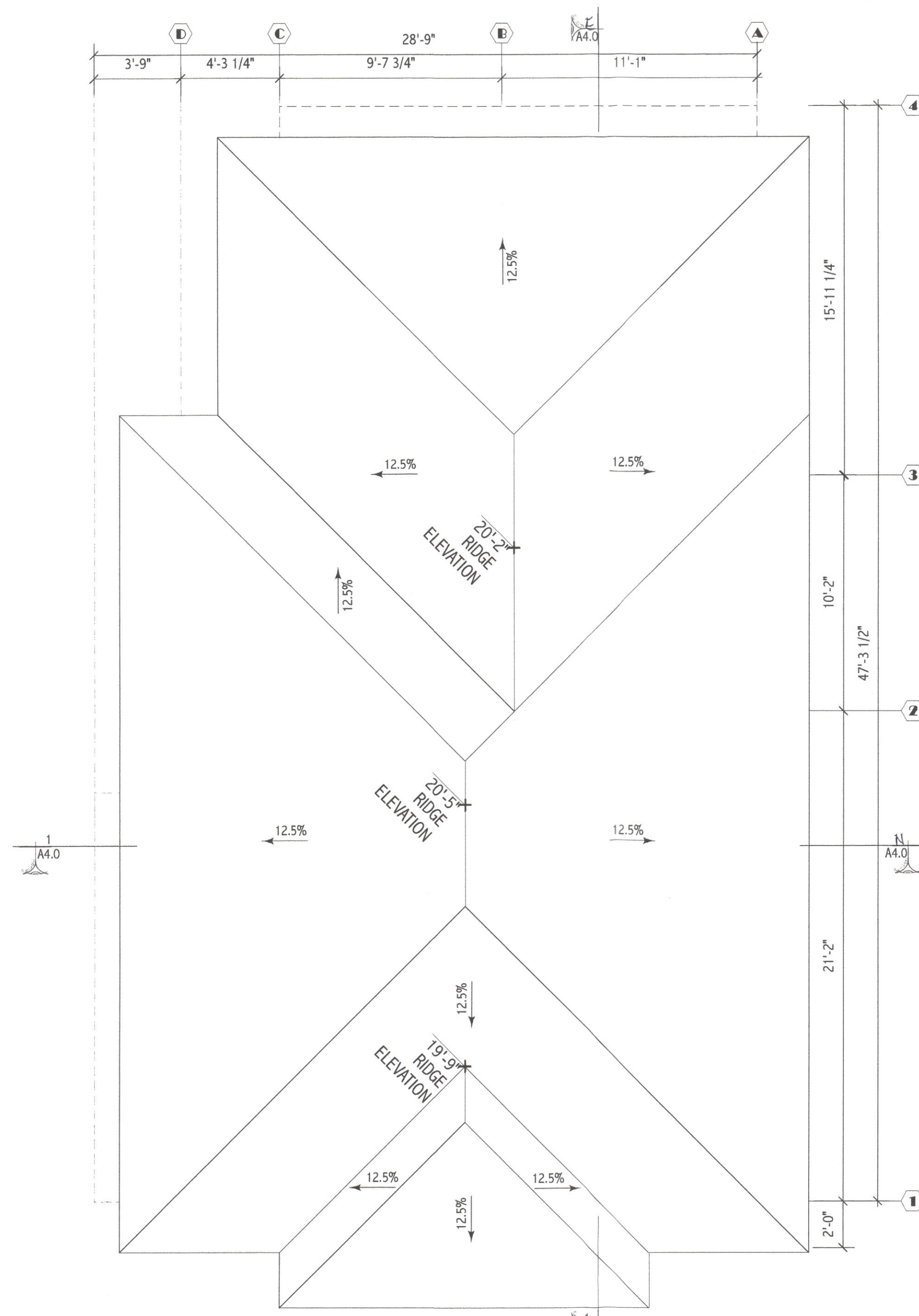
1. SHOWER COMPARTMENTS AND WALLS ABOVE BATHRUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6'-0" ABOVE THE FLOOR PER CRC R307.2.
2. PROVIDE DEDICATED SWITCH FOR BATH VENT PER 150(k)(6).

ROOF

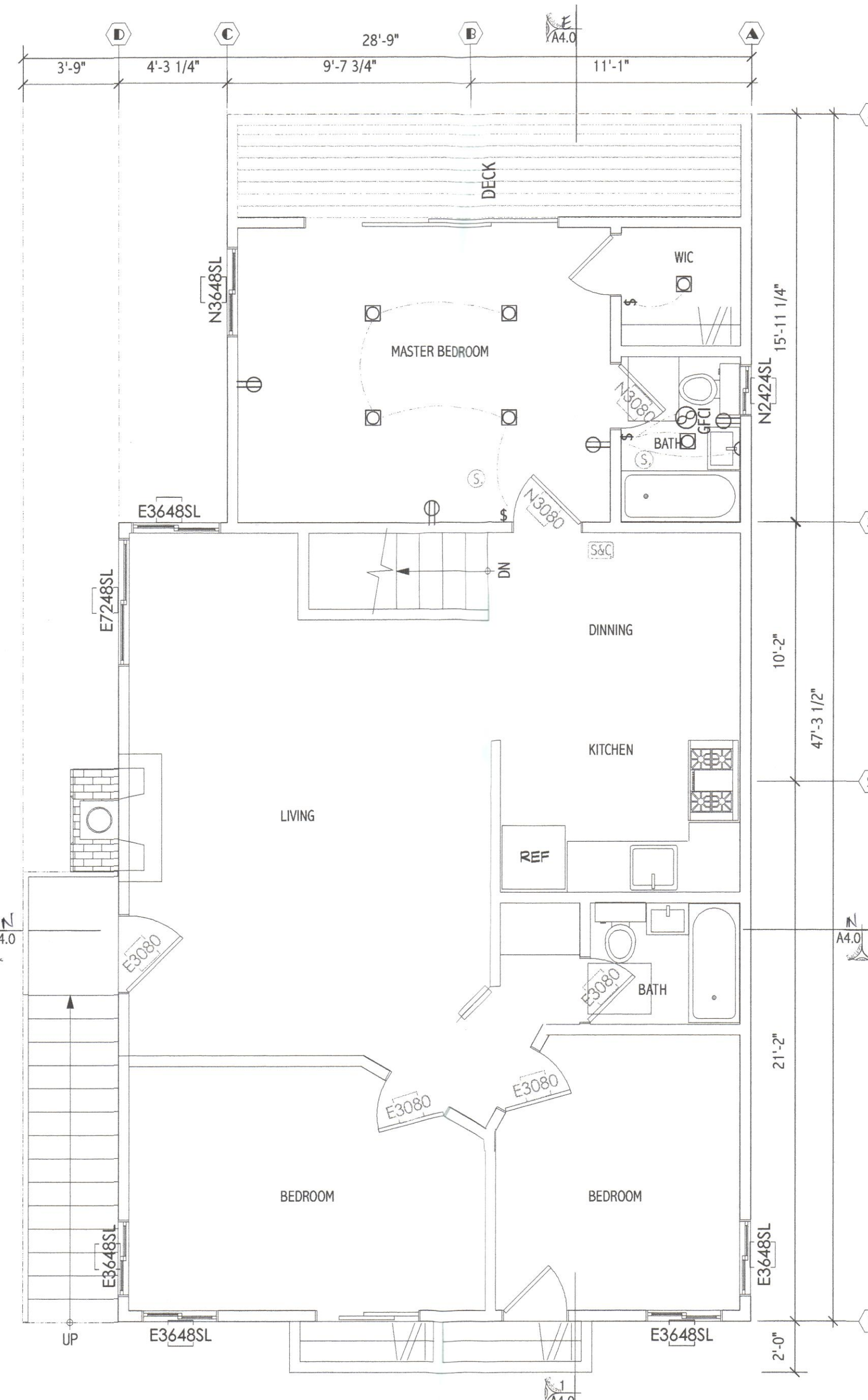
1. VENT: PER CRC R806.2, PROVIDE 1" WIDE X 40'-0" LONG ROOF ATTIC VENT AT ROOF EAVE ALONG GRID 1, 3, AND (2) VENT STRIP AT GRID 2. TOTAL 160SQIN VENT (>130SQIN REQUIRED FOR 1620SQFT ROOF ATTIC AREA W/ ONE WAY AIR CIRCULATION).
2. FLAT ROOF 1:12 SLOPE: PROVIDE ROSIN-SIZED SHEATHING PAPER AND 1ST LAYER ASPHALT GLASS FIBER BASE SHEET INSTALL W/ NAIL @ 9" O.C. E.N. AND 12" O.C. F.N.. PROVIDE 2ND LAYER ASPHALT GLASS FIBER BASE SHEET W/ ASPHALT. FINISH COVER BY MINERAL-SURFACED INORGANIC CAP SHEET INSTALL W/ ASPHALT.
3. SLOPE ROOF 3:12 SLOPE: SEE DETAIL 11/53.0.
4. FOR ROOF EAVE PROJECT WITHIN 5'-0" PROPERTY LINE SETBACK, PROVIDE (2) LAYER 5/8" TYPE "X" GYPBOARD FOR FIRE PROTECTION.

LEGEND

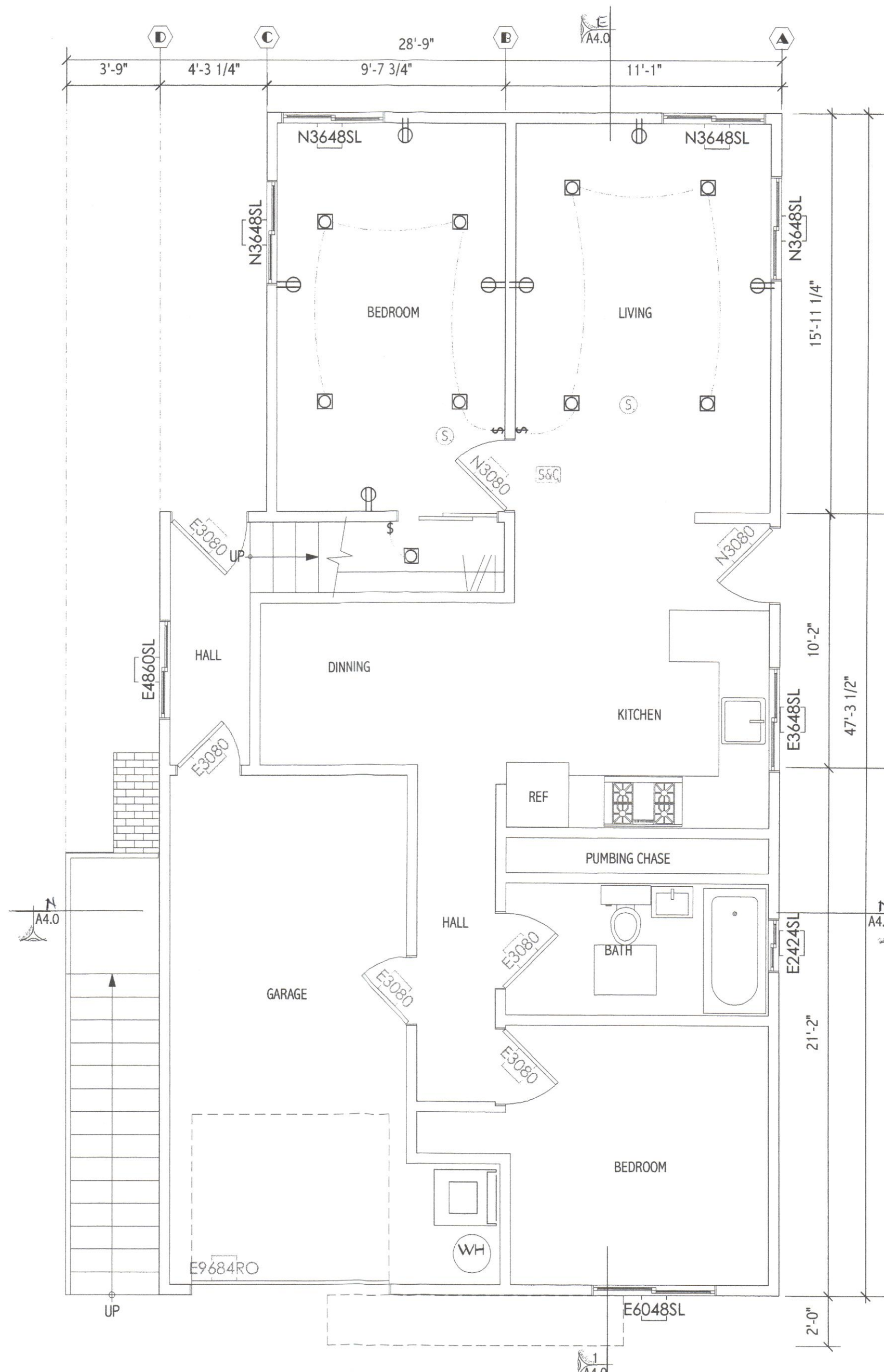
- Ⓢ WALL SWITCH
- Ⓢ AFCI PROTECTED DUPLEX OUTLET PER CBC 210.12(B)
- Ⓢ 220V 220 VOLT OUTLET
- Ⓢ GFCI GROUND FAULT CIRCUIT INTERRUPTED DUPLEX OUTLET
- Ⓢ IC RATED FLUSH MOUNTED CANS W/ELECTRONIC BALLAST & AIR-TIGHT
- Ⓢ SCONCE LIGHT
- Ⓢ APPROVED EXHAUST FAN
- Ⓢ FLOOR DRAINAGE ACCESS
- Ⓢ UPGRADE ELECTRICAL PANEL TO 100AMP OR V.I.F.
- Ⓢ SMOKE ALARM
- Ⓢ SMOKE & CARBON MONOXIDE ALARM
- (E) OR (N) DOOR SIZE (IN X IN)
- (3)N3648 (E) OR (N) WINDOW SIZE (IN X IN) GLAZING AREA TO HABITABLE SPACE PERCENTAGE
SL = SLIDER, SH = SINGLE HUNG, F = FIX
* = 45 MIN SLID CORE DOOR W/ SELF CLOSER
- 5/8" TYPE "X" GYPBD
- R-19 WALL INSULATION
- (E) WALL
- (E) WALL TO BE REMOVED
- (N) WALL
- 12"Ø LIGHT TUNNEL
- Ⓢ 2'-0" X 4'-0" SKYLIGHT



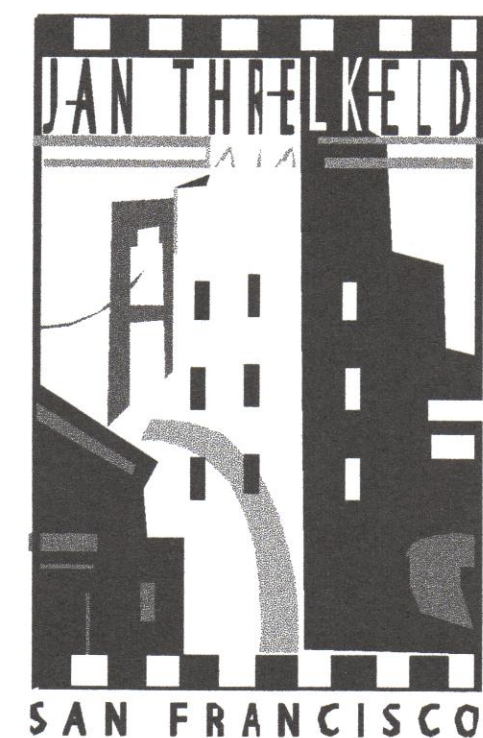
(N) ROOF PLAN
SCALE: 1/4" = 1'-0"



(N) 2FL PLAN
SCALE: 1/4" = 1'-0"



(N) 1FL PLAN
SCALE: 1/4" = 1'-0"



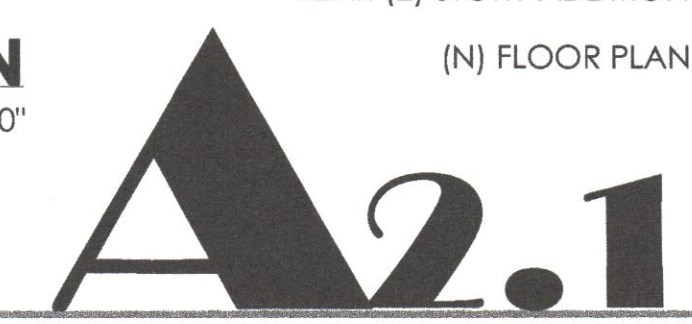
415.333.3535
1862 31st Avenue
San Francisco, Ca 94122
jy.pno.engn@gmail.com

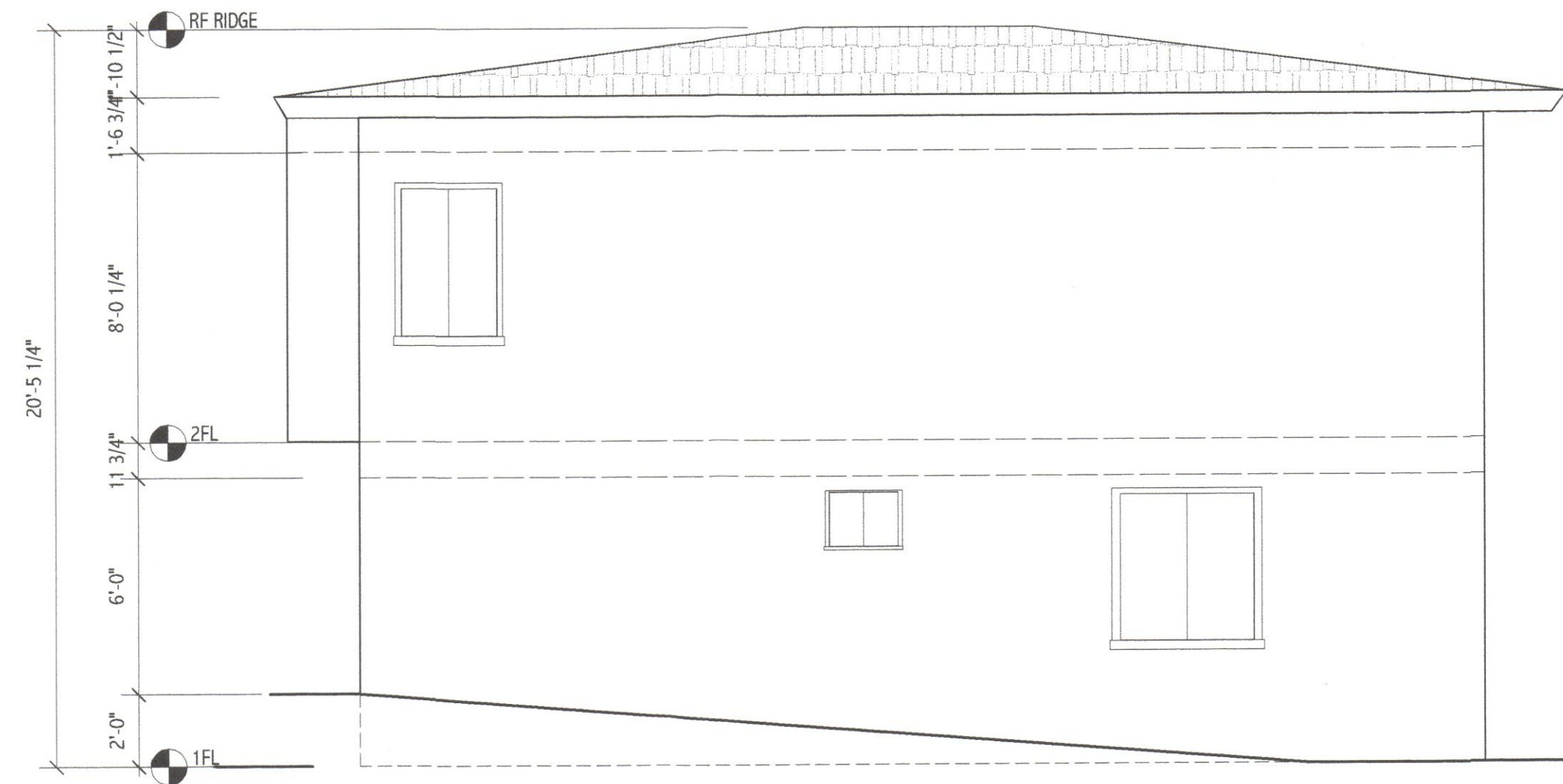


SUBMITTAL DATE
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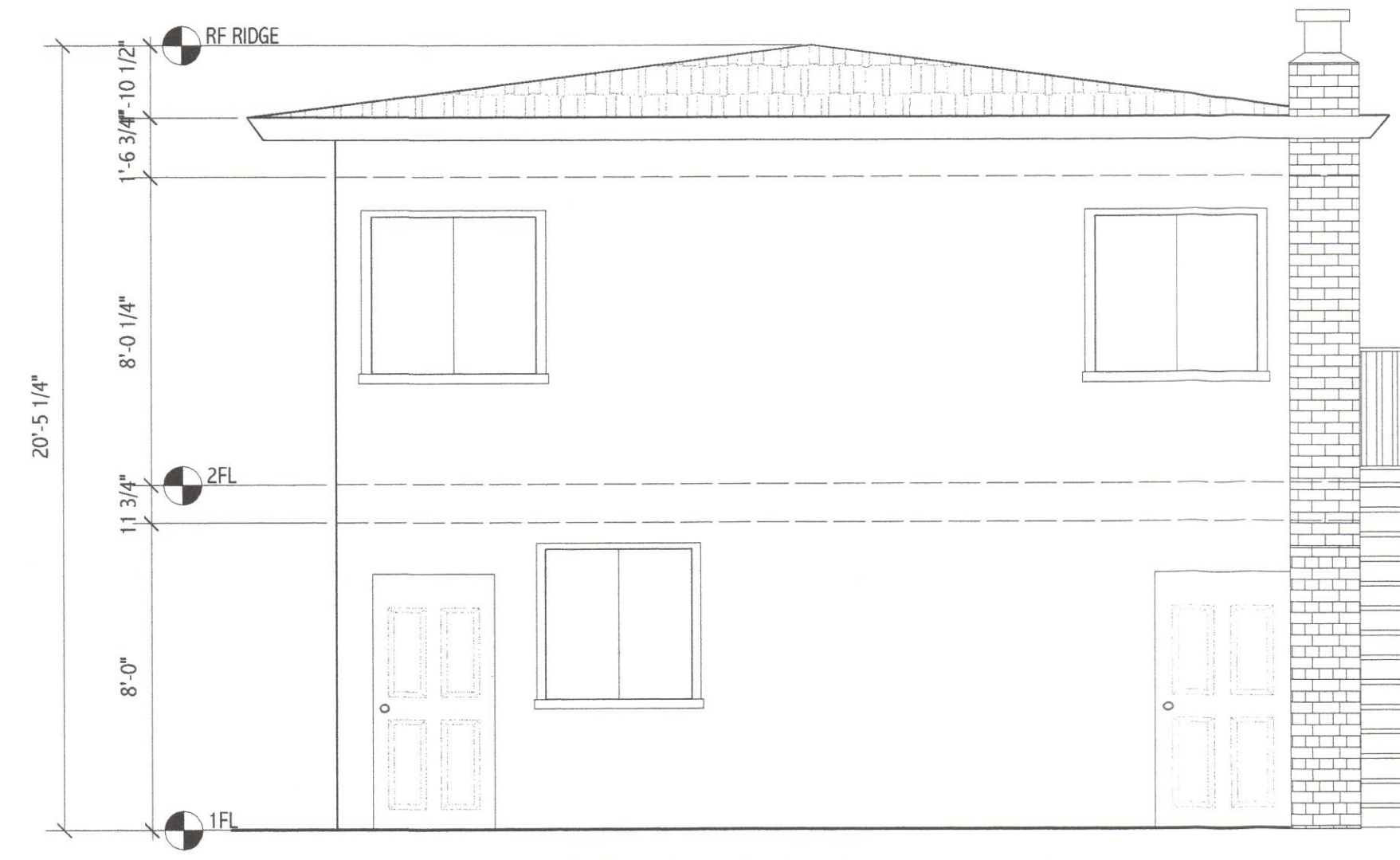
OWNER: JOSEPHINE LAI
321 7TH ST
MONTARA, CA 94037

PROJECT: 321 7th ST
MONTARA, CA 94037
REAR (2) STORY ADDITION
(N) FLOOR PLAN

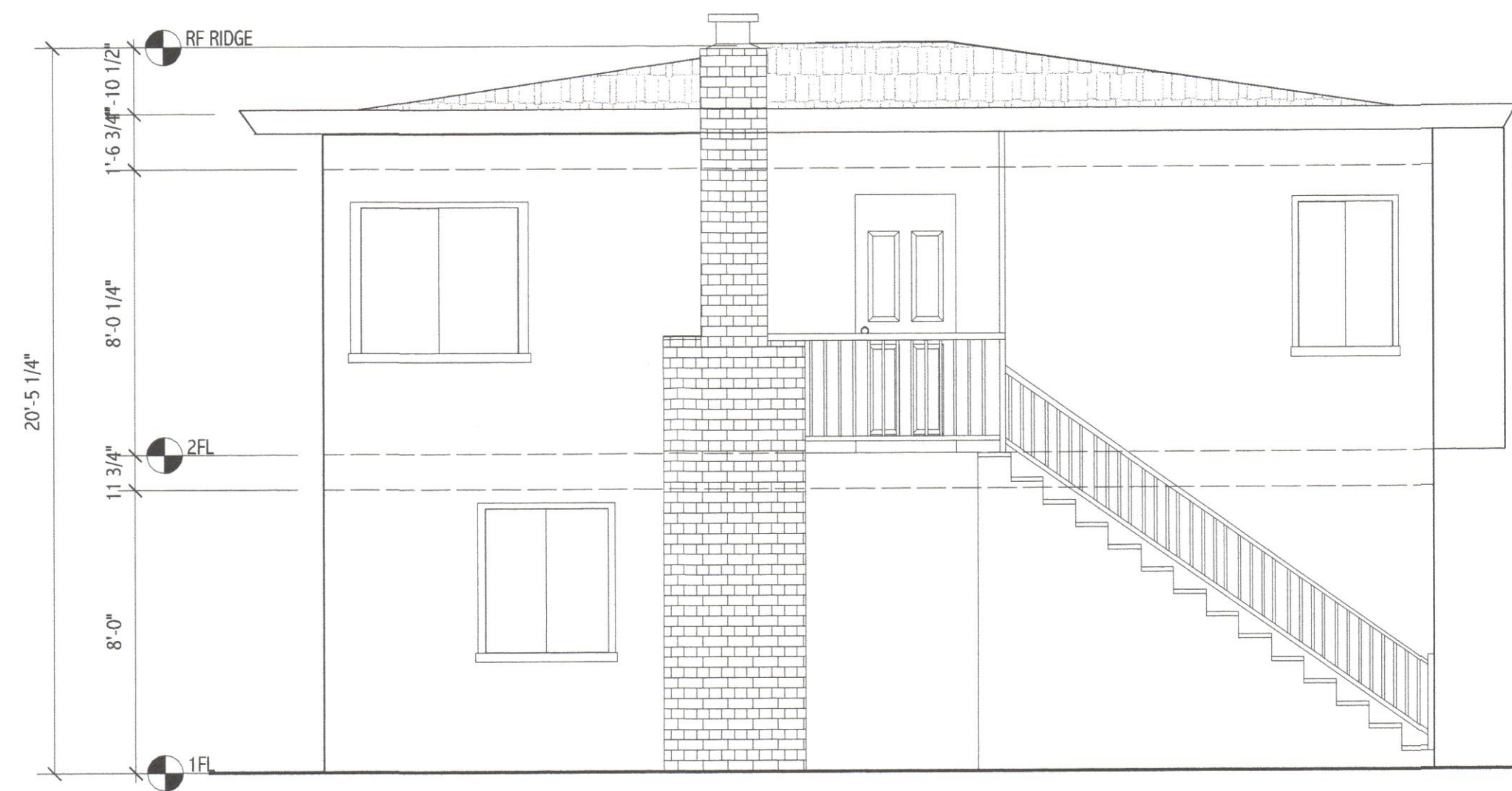




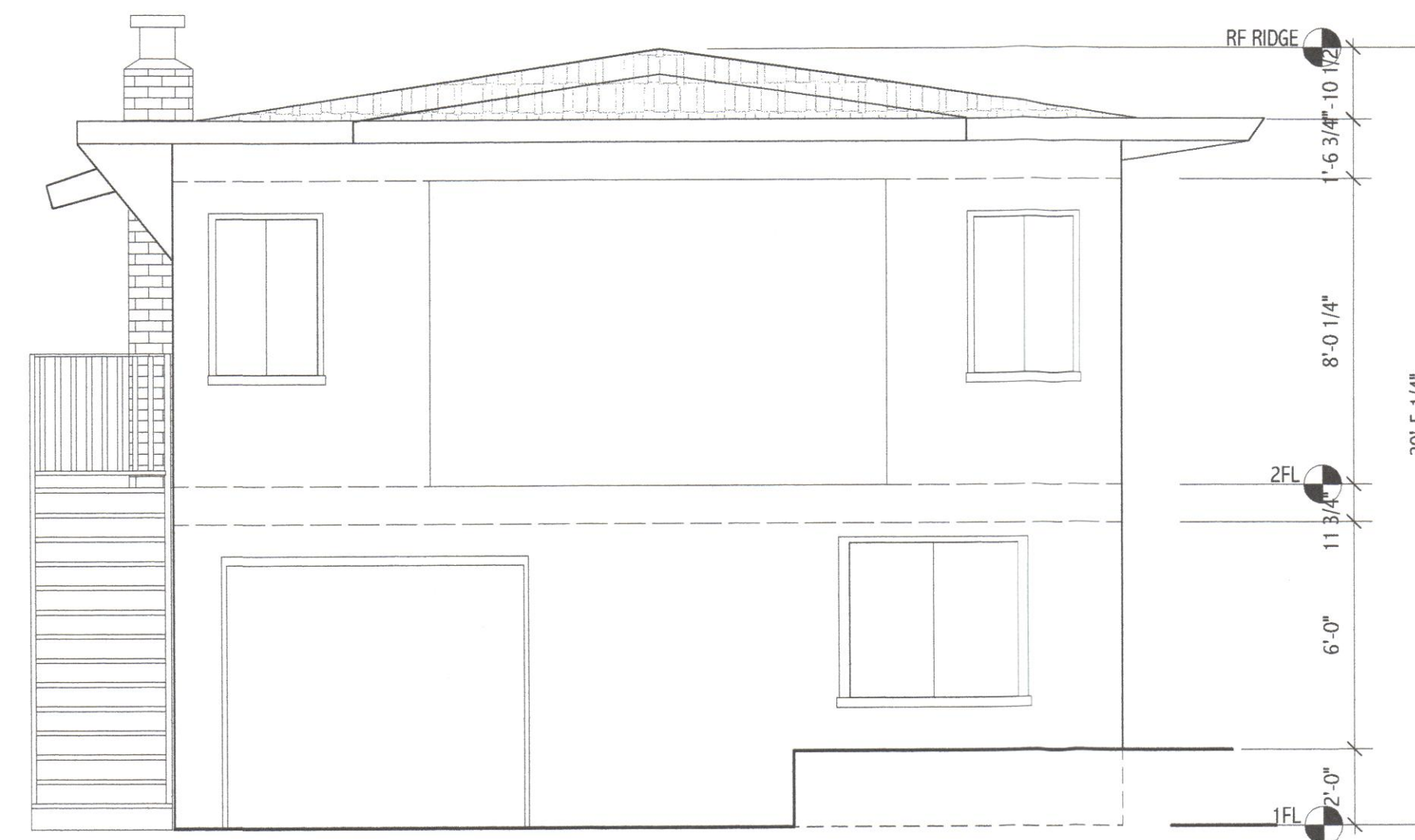
(E) EAST ELEVATION
 SCALE: 1/4" = 1'-0"



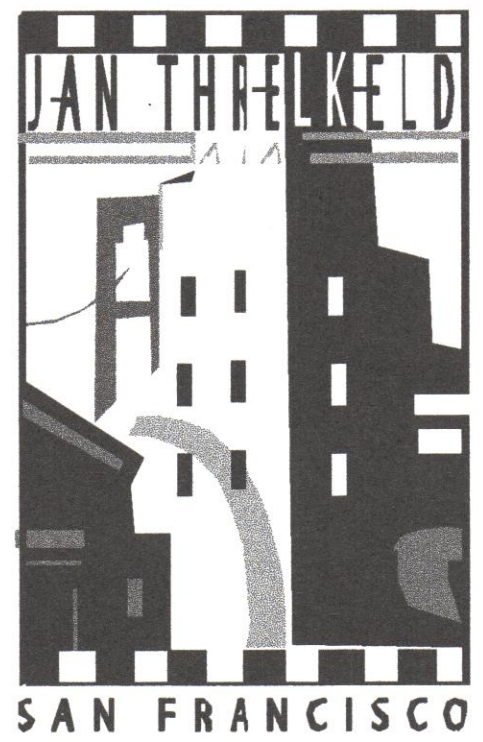
(E) NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



(E) WEST ELEVATION
 SCALE: 1/4" = 1'-0"



(E) SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



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 1862 31st Avenue
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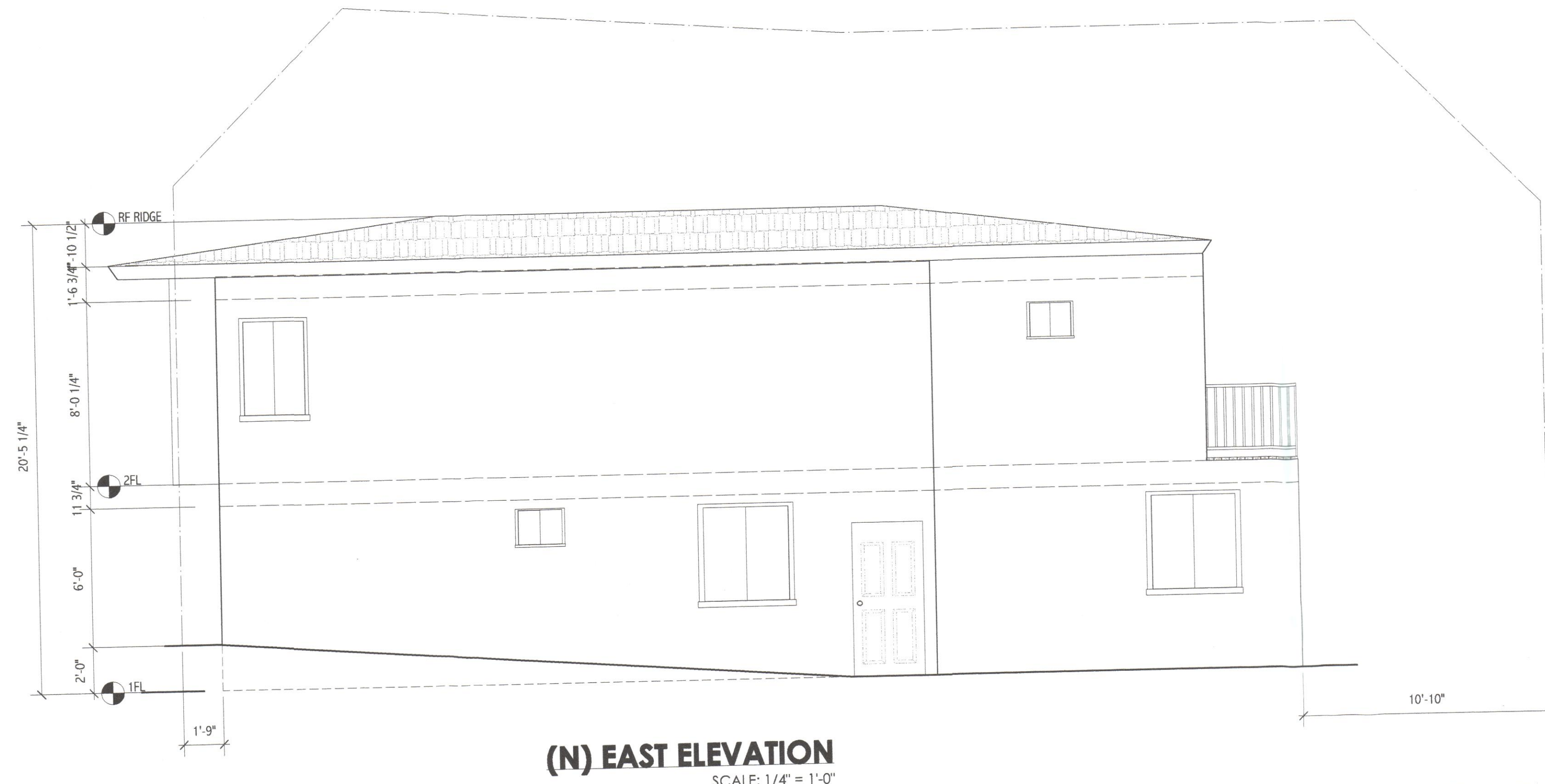


SUBMITTAL DATE
 PERMIT SET 06.29.15

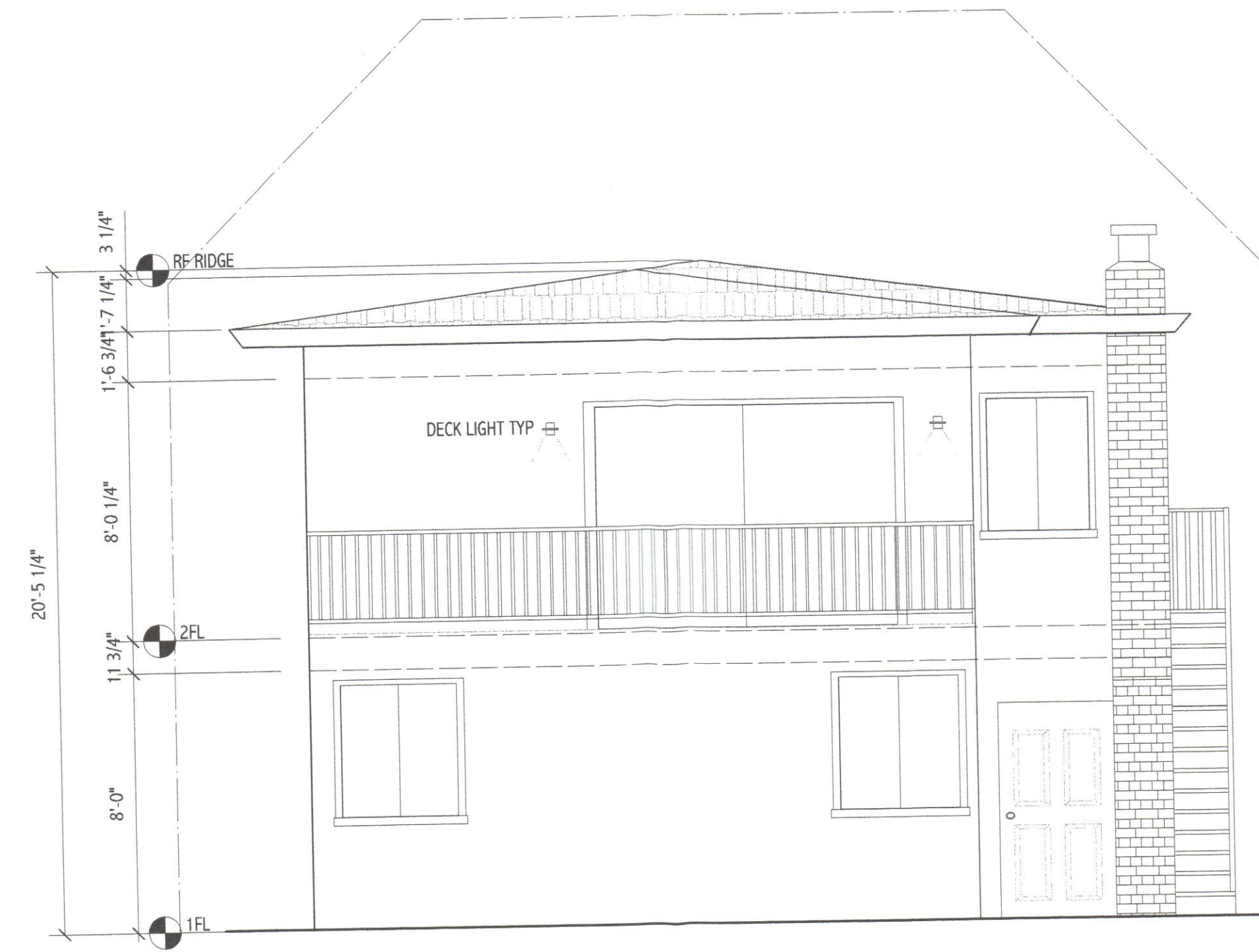
OWNER:
 JOSEPHINE LAI
 321 7TH ST
 MONTARA, CA 94037

PROJECT:
321 7th ST
MONTARA, CA 94037
 REAR (2) STORY ADDITION
 ELEVATION

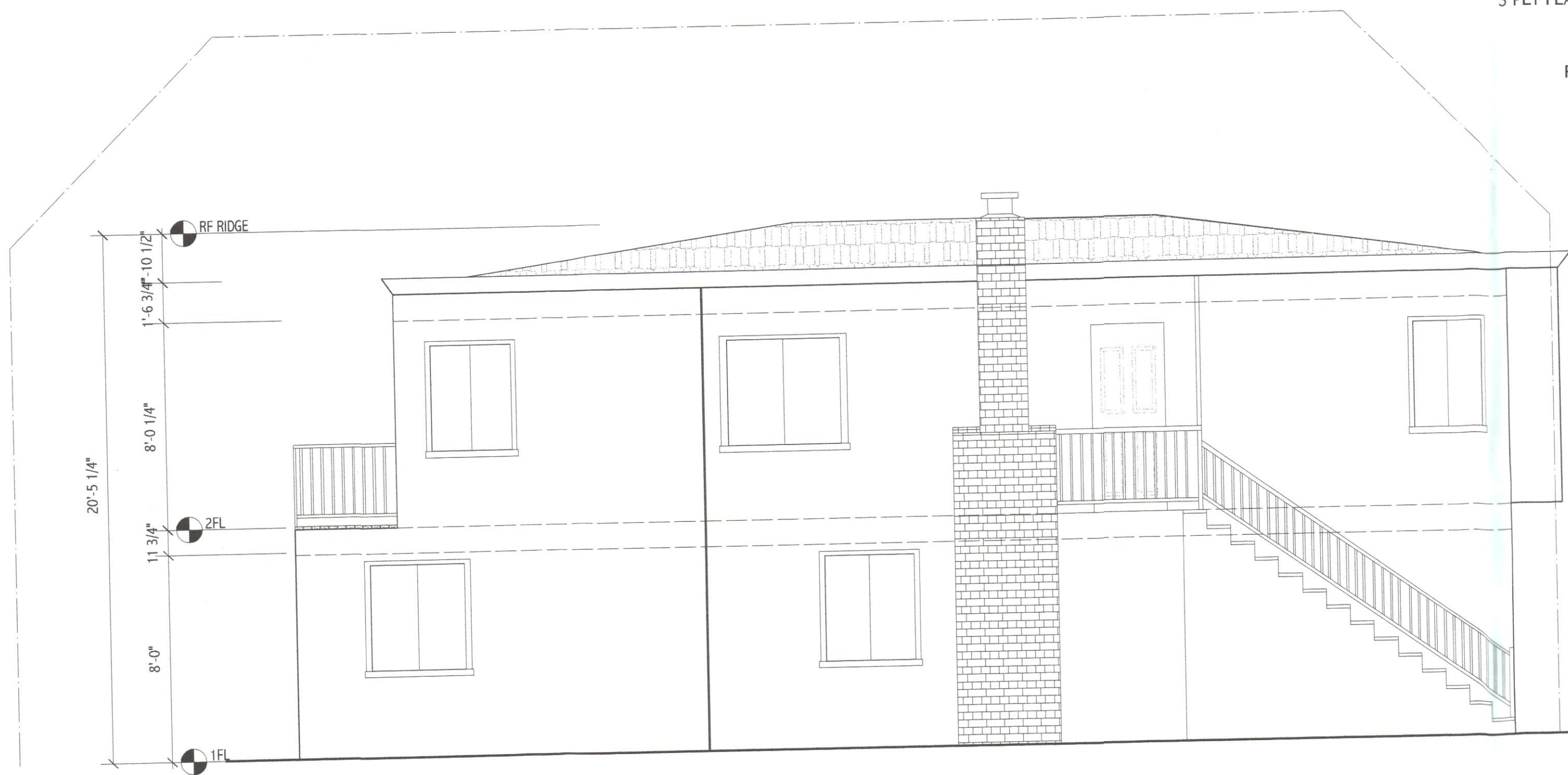




(N) EAST ELEVATION
SCALE: 1/4" = 1'-0"



(N) NORTH ELEVATION
SCALE: 1/4" = 1'-0"

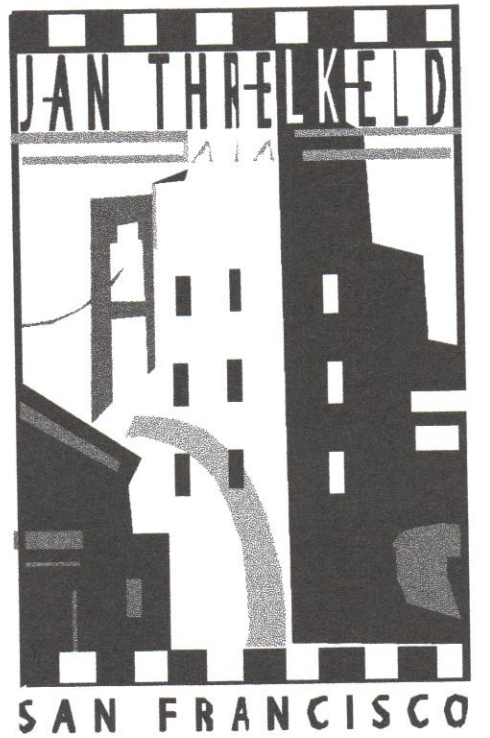


(N) WEST ELEVATION
SCALE: 1/4" = 1'-0"



(N) SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

- | | | | |
|-----------------|--|----------------|--|
| ASPHALT SHINGLE | | WALL SIDING | |
| 5 PLY FLAT ROOF | | WALL STUCCO | |
| FOOTING | | BRICK CHIMNEY | |
| | | DAYLIGHT PLANE | |



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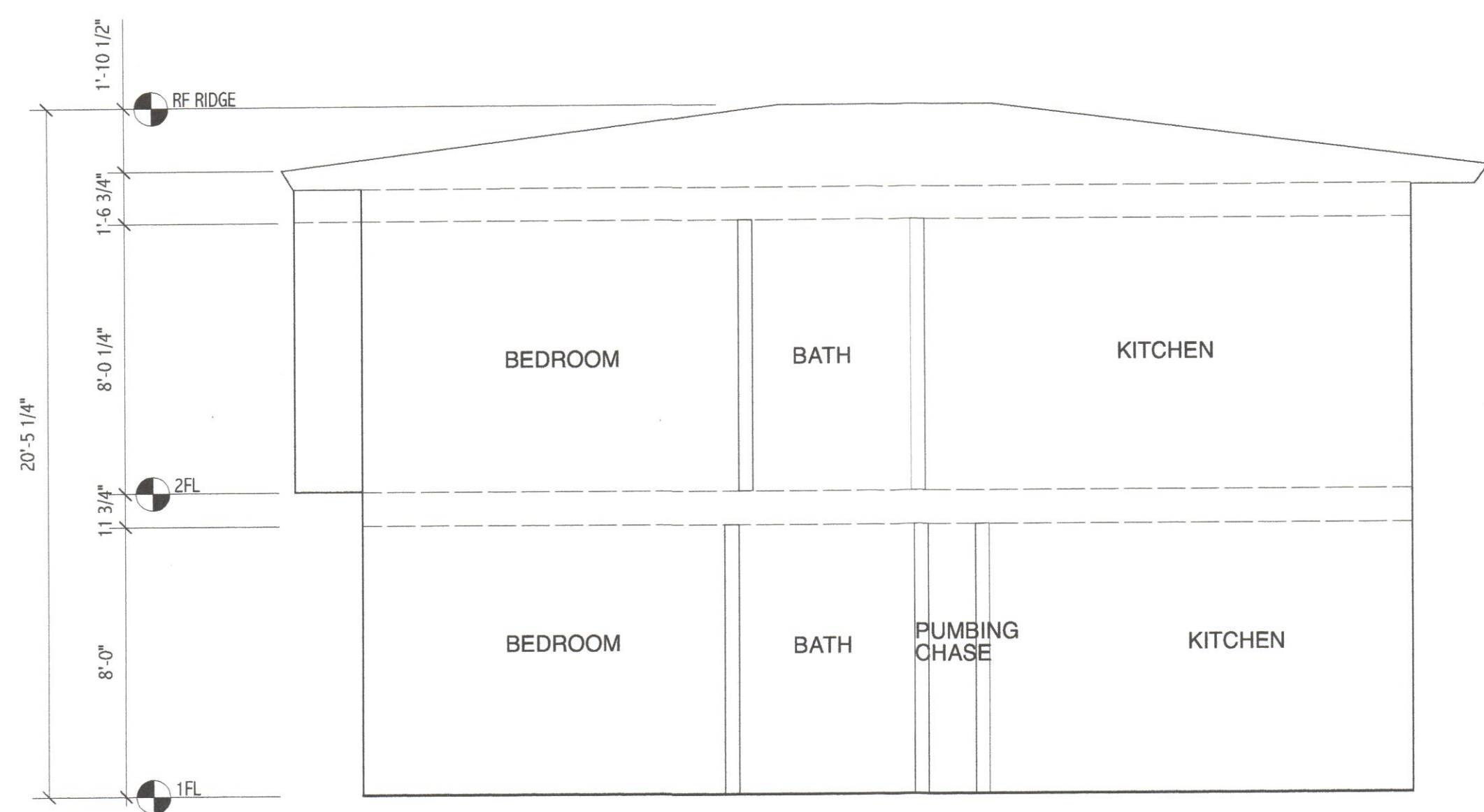


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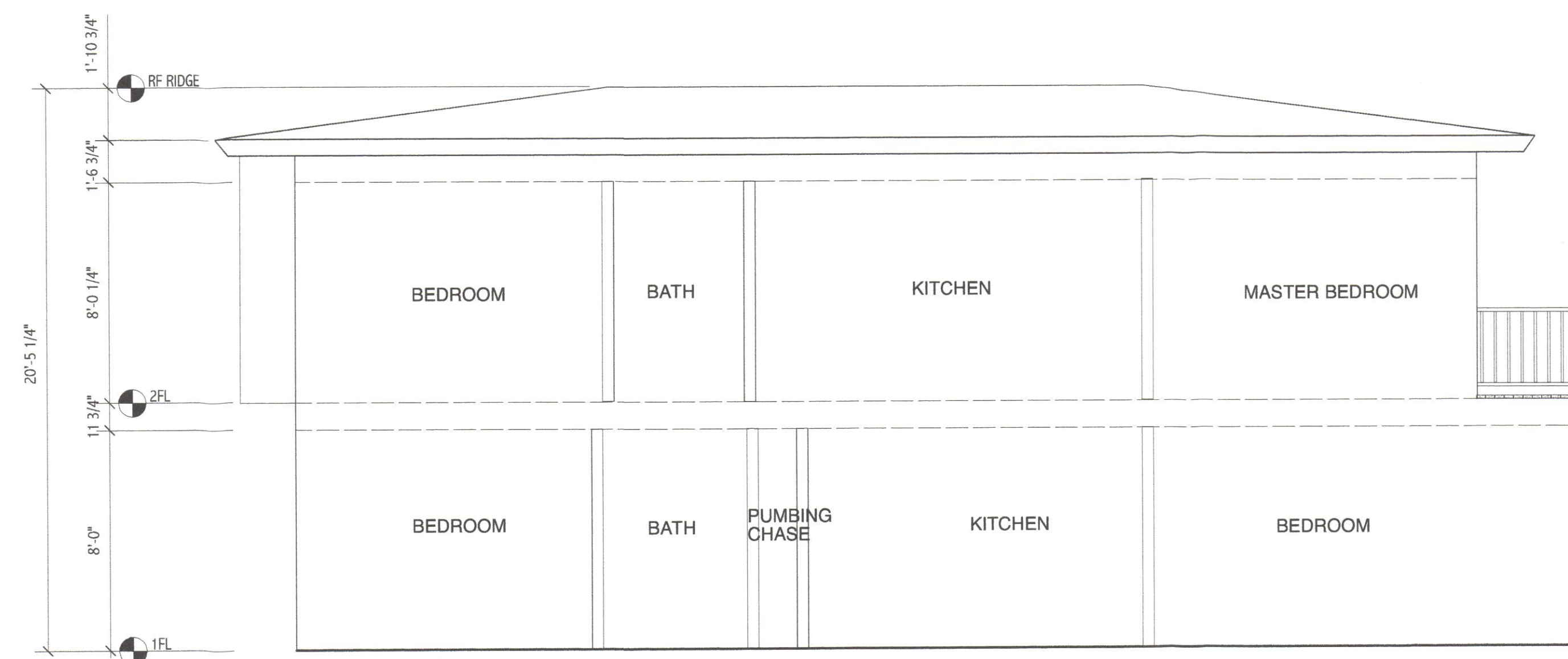
OWNER: JOSEPHINE LAI
321 7TH ST
MONTARA, CA 94037

PROJECT: 321 7th ST
MONTARA, CA 94037
REAR (2) STORY ADDITION
ELEVATION

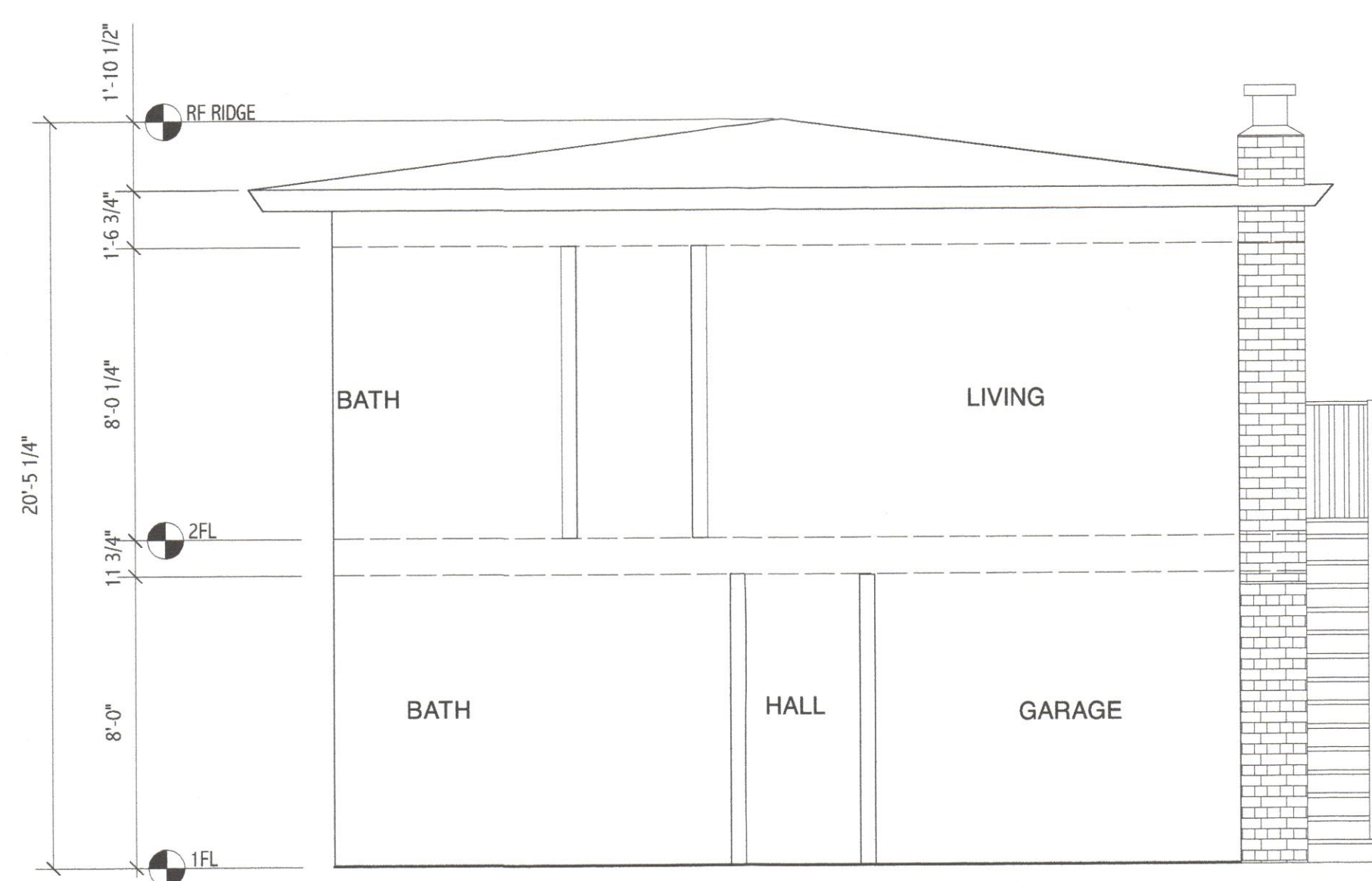




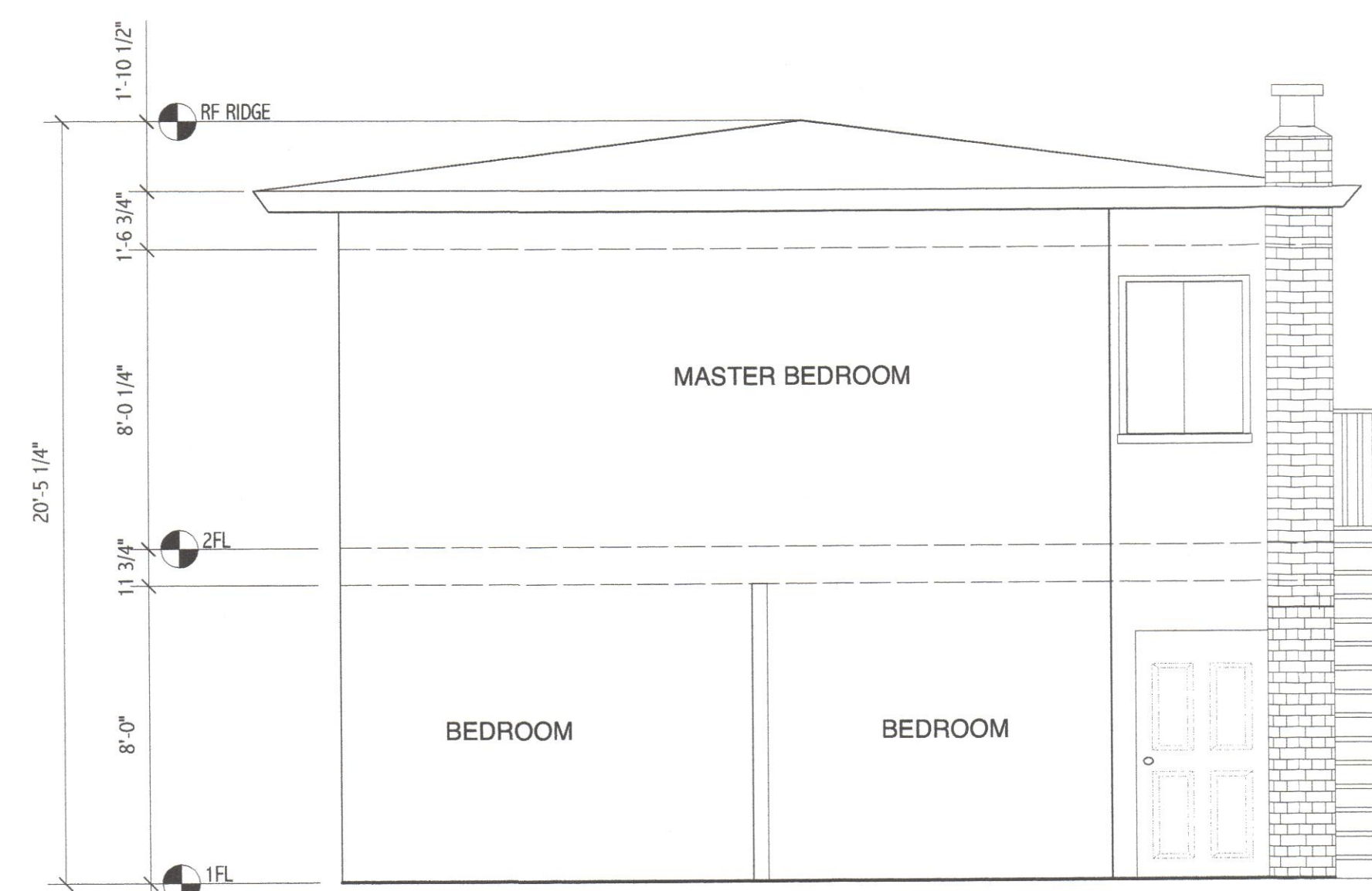
(E) EAST SECTION
 SCALE: 1/4" = 1'-0"



(N) EAST SECTION
 SCALE: 1/4" = 1'-0"



(E) NORTH SECTION
 SCALE: 1/4" = 1'-0"



(N) NORTH SECTION
 SCALE: 1/4" = 1'-0"



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 REAR (2) STORY ADDITION
 SECTION

