

# Application for Design Review by the County Coastsides Design Review Committee

County Government Center ■ 455 County Center ■ Redwood City CA 94063  
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Permit #: PLN 2016-00290

Other Permit #: \_\_\_\_\_

### Applicant:

Name: SERHIY KYBYCH  
Address: 7929 DIAMOND ROCK DR  
ANTELOPE, CA Zip: 95843  
Phone, W: 916-722-1122 H: 916-214-5461  
Email: sserhiyk@hotmail.com

### Owner (if different from Applicant):

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Zip: \_\_\_\_\_  
Phone, W: \_\_\_\_\_ H: \_\_\_\_\_  
Email: \_\_\_\_\_

### Architect or Designer (if different from Applicant):

Name: ALEX MARTYNOVSKIY  
Address: 10100 COUNTRYSIDE Way, Sacramento, CA 95827  
Phone, W: \_\_\_\_\_ H: \_\_\_\_\_  
Email: alex.martynovskiy@gmail.com

### Project location:

APN: 048-013-600  
Address: MAGELLAN AVE  
Half Moon Bay Zip: 94019  
Zoning: ~~R-1/S-94/DR~~  
Parcel/lot size: 7,792 sq. ft.

### Site Description:

- Vacant Parcel
- Existing Development (Please describe): \_\_\_\_\_

### Project:

- New Single Family Residence: 3,739 sq. ft.
- Addition to Residence: \_\_\_\_\_ sq. ft.
- Other: \_\_\_\_\_

### Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

### Describe Project:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

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San Mateo County  
Planning Division

**Materials and Finish Schedule Findings of Study**

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	<u>Stucco</u>	<u>Warm Gray</u>	<input type="checkbox"/>
b. Trim	_____	_____	<input type="checkbox"/>
c. Windows	_____	_____	<input type="checkbox"/>
d. Doors	_____	_____	<input type="checkbox"/>
e. Roof	<u>Stone coated steel</u>	_____	<input type="checkbox"/>
f. Chimneys	_____	_____	<input type="checkbox"/>
g. Decks & railings	<u>Metal &amp; Glass</u>	_____	<input type="checkbox"/>
h. Stairs	_____	_____	<input type="checkbox"/>
i. Retaining walls	_____	_____	<input type="checkbox"/>
j. Fences	<u>Redwood</u>	<u>Natural</u>	<input type="checkbox"/>
k. Accessory buildings	_____	_____	<input type="checkbox"/>
l. Garage/Carport	_____	_____	<input type="checkbox"/>

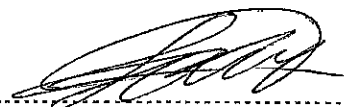

**Required Findings**

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

**Responsible Party**

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner:  \_\_\_\_\_ Applicant:  \_\_\_\_\_

Date: \_\_\_\_\_ Date: \_\_\_\_\_



455 County Center, 2nd Floor • Redwood City, CA 94063  
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

# Application for a Coastal Development Permit

## Companion Page

Applicant's Name: SERHIY KYBYCH

Primary Permit #: PLN 2016-00280

### 1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

### 2. Basic Information

Does the owner or applicant own any adjacent property not listed?

Yes  No

If yes, list Assessor's Parcel Number(s):

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?

Yes  No

If yes, explain (include date and application file numbers).

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JUL 06 2016

### 3. Materials and Finish of Proposed Buildings or Structures

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:	Material	Color/Finish	Check if matches existing
a. Exterior Walls	<u>Stucco</u>	<u>Warm Gray/Seagull</u>	<input checked="" type="checkbox"/>
b. Trim	<u>Stucco</u>	<u>Adirondack Blue</u>	<input type="checkbox"/>
c. Roof	<u>Stone Coated Steel</u>	<u>Slate Stone Gray</u>	<input type="checkbox"/>
d. Chimneys	<u>_____</u>	<u>_____</u>	<input type="checkbox"/>
e. Accessory Buildings	<u>_____</u>	<u>_____</u>	<input type="checkbox"/>
f. Decks/Stairs	<u>_____</u>	<u>_____</u>	<input type="checkbox"/>
g. Retaining Walls	<u>_____</u>	<u>_____</u>	<input type="checkbox"/>
h. Fences	<u>Redwood</u>	<u>Natural</u>	<input type="checkbox"/>
i. Storage Tanks	<u>_____</u>	<u>_____</u>	<input type="checkbox"/>

## 4. Project Information

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- |   | Yes                                 | No                                  |
|---|-------------------------------------|-------------------------------------|
| a. Demolition of existing housing units? (If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| b. Creeks, streams, lakes or ponds?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| d. Beaches?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| e. Sand Dunes?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| g. Ridgetops?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| i. Removal of trees or vegetation?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| j. Grading or alteration of landforms?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| k. Landscaping?   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| l. Signs?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)?   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| n. Areas subject to flooding?   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| o. Development on slopes 30% or steeper?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

- p. Between the sea and the nearest public road?
- q. Existing or proposed provisions for public access to the shoreline?
- r. Public or commercial recreation facilities?
- s. Visitor-serving facilities?
- t. Existing or proposed public trail easements?

**Explain all Yes answers below.** Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

m. Phone, electricity

n. tsunami zone?

## 5. Staff Use Only

### California Coastal Commission Jurisdiction

- A. Does the Proposed Project Involve:**
1. A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?
 

Yes  No
  2. Construction or grading within 100 feet of a stream or wetland?
 

Yes  No
  3. A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?
 

Yes  No

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

Commission; a public hearing is always required.

- B. Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).**

Yes  No

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: \_\_\_\_\_

# Environmental Information Disclosure Form

PLN \_\_\_\_\_  
BLD \_\_\_\_\_

Project Address:

MAGELLAN AVE  
Half Moon Bay, CA 94019

Assessor's Parcel No.: 048 - 013 - 600

Zoning District: R-1 / S94 / DR

Name of Owner: SERHIY KYBYCH

Address: 7929 Diamond Rock Dr, ANTELOPE  
CA 95843 Phone: 916-214-5461

Name of Applicant: SERHIY KYBYCH

Address: 7929 Diamond Rock Dr, ANTELOPE  
CA 95843 Phone: 916-214-5461

## Existing Site Conditions

Parcel size: 7,792 SF

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).

## Environmental Review Checklist

### 1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) ( ≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
	<input checked="" type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : _____ c.y. Fill: _____ c.y.
	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input checked="" type="checkbox"/>		i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

TSUNAMI ZONE ?

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San Mateo County  
Planning Department

Signature required on reverse →

**2. National Marine Fisheries Rule 4(d) Review**

Yes	No	Will the project involve:
	X	a. Construction outside of the footprint of an existing, legal structure?
	X	b. Exterior construction within 100-feet of a stream?
	X	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
	X	d. Land-use within a riparian area?
	X	e. Timber harvesting, mining, grazing or grading?
	X	f. Any work inside of a stream, riparian corridor, or shoreline?
	X	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_


\_\_\_\_\_

**3. National Pollutant Discharge Elimination System (NPDES) Review**

Yes	No	Will the project involve:
	X	a. A subdivision or Commercial / Industrial Development that will result in the addition or replacement of <b>10,000 sq. ft. or more of impervious surface?</b> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
	X	b. Land disturbance of <b>1 acre</b> or more of area? If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <b>prior</b> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

**Certification**

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

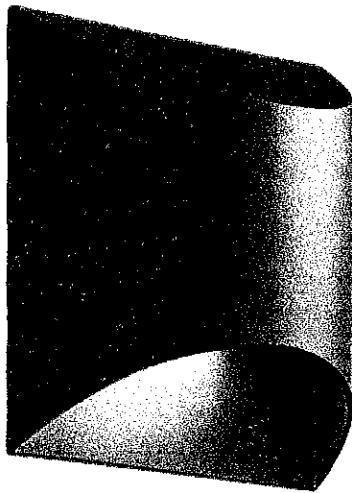
Signed: 

Date: \_\_\_\_\_

(Applicant may sign)

# KICHLER.

Style to live by.



Project	
Type	
Ordering #	
Comments	

## Wesley Collection

Wesley 1 Light LED Outdoor Wall Light in TZT AZT  
49278AZTLED (Textured Architectural Bronze)

**Product Description:** Wesley 1 Light LED Outdoor Wall Light mirrors the lines and shapes found on your contemporary home. The half-moon silhouette at top and bottom is lined with etched glass to shed brilliant light. To finish this sleek look our Wall Light is finished with Textured Architectural Bronze.

## Available Finishes

Textured Architectural Bronze  
PL

ADD TO PROJECT

## Technical Information

Weight:	2.07 LBS
Safety Rated:	Wet
HCWC:	3.75"
Base Backplate:	5.25"
Color Rendering Index:	90
Color Temperature Range:	3000
Dark Sky:	Yes
Expected Life Span:	35000 Hours
Operating Voltage Range:	100-120Vac
Light Source:	LED
Collection:	Wesley Collection
Width:	7.00"
Height:	7.50"
Extension:	4.00"
Voltage:	120V
Energy Efficient:	Yes
Kelvin Temperature:	3000K
Finish:	Textured Architectural Bronze

PLN2016 - 00280

GR-W3



GF 3

C4

GR-W3<sup>4</sup>  
Amazon Breeze

C2

Agroundack Blue N480-5<sup>4</sup>

C3

PLN2016-00280

C1

Silver Marlin N360-2<sup>4</sup>



MAGELLAN AVE  
 HALF MOON BAY, CA 94019

SHEET TITLE  
 EXTERIOR COLORS

OWNER  
 SERHIY KYBYCH  
 7929 DIAMOND ROCK DR.  
 ANTELOPE, USA 95843

APN  
 048-013-600

(916) 214-5461

PLR 2023-00280

EXTERIOR COLORS (BY BEHR)

ID	COLOR	NAME	USAGE
C1		SILVER GREY N 350-2	STUCCO WALL FINISH
C2		ADIRONDACK BLUE N 480-5	STUCCO TRIM, HANDRAIL & POST
C3		YOGI S 360-5	EXTERIOR PAINTED CEILINGS
C4		AMAZON BREEZE GR-W03	DOOR/WINDOW FRAME

FRONT ELEVATION

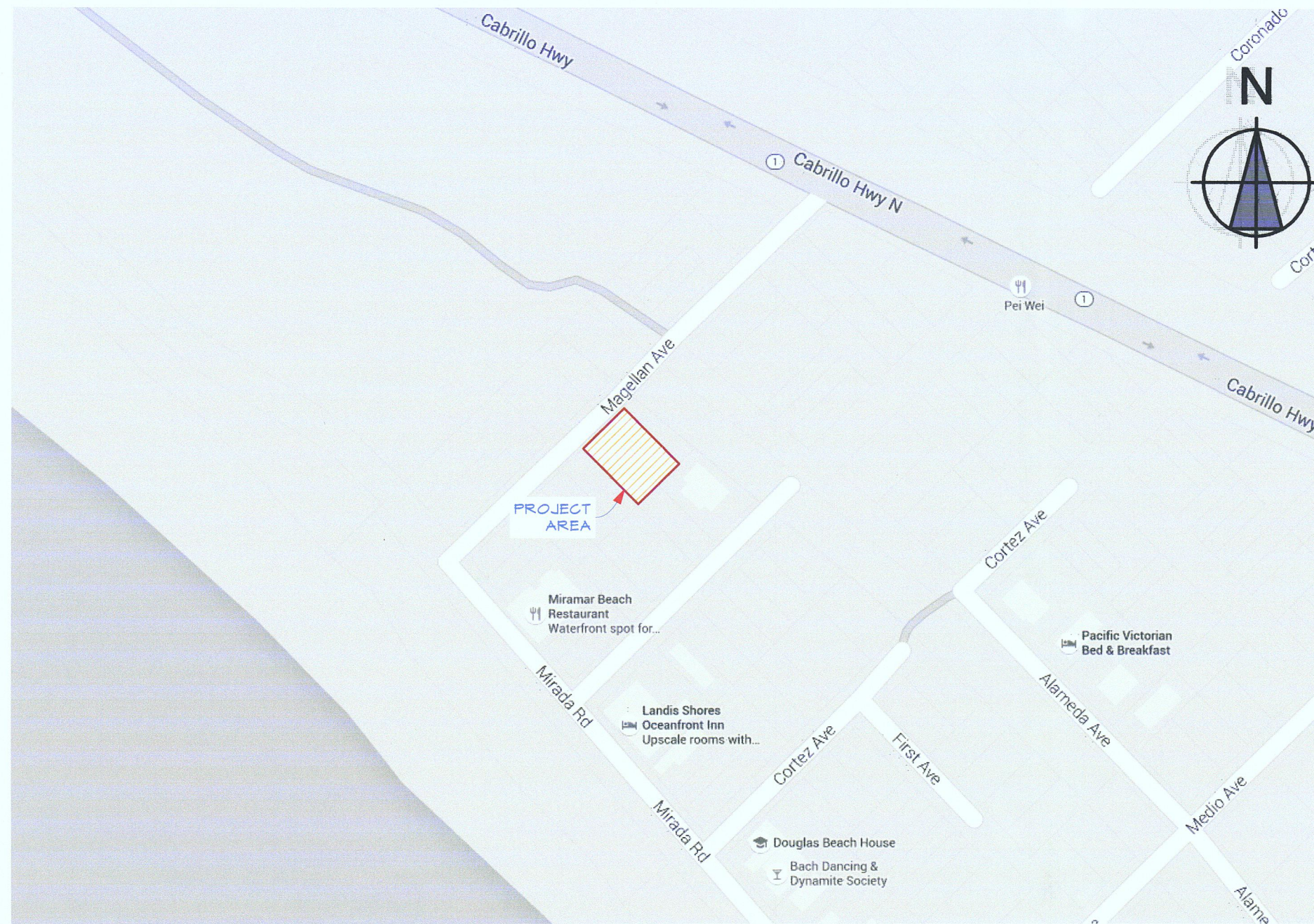
NOT TO SCALE











MAP  
NOT TO SCALE



STREET VIEW



STREET VIEW

AREA CALCULATIONS	
DWELLING REQUIRED	3,740 SQFT (40% MAX)
DWELLING PROPOSED	3,739 SQFT (41.48%)
UPPER LEVEL	1,120 SQFT
MAIN LEVEL	2,211 SQFT
GARAGE	400 SQFT
STORAGE	1,743 SQFT
DECKING TOTAL	1,140 SQFT
MAIN LEVEL AT DINING	176 SQFT
MAIN LEVEL AT ENTRY	308 SQFT
UPPER LEVEL	664 SQFT
SITE	7,712 SQFT
TOTAL FOOTPRINT	2,323 SQFT (29.01%)

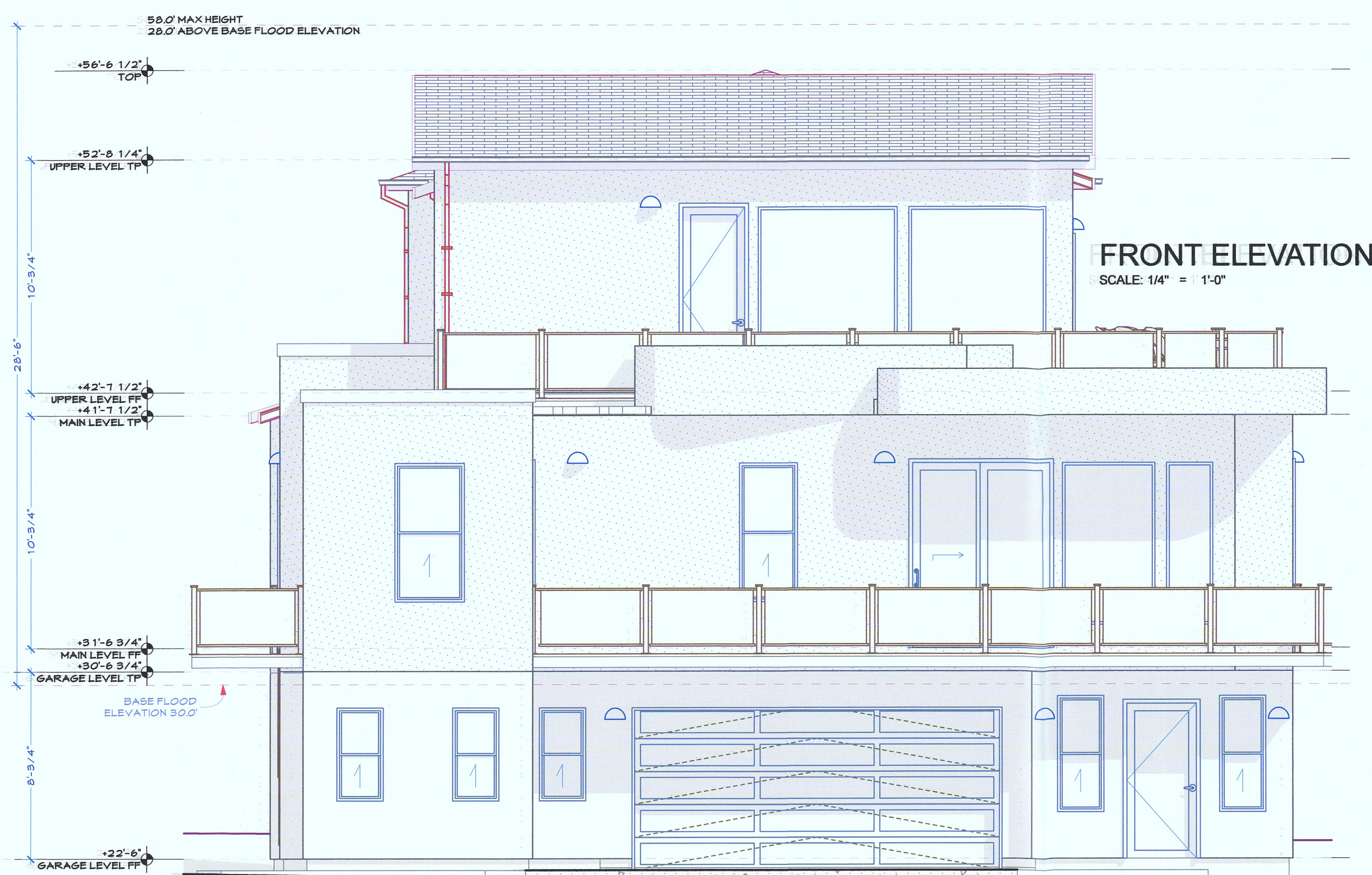
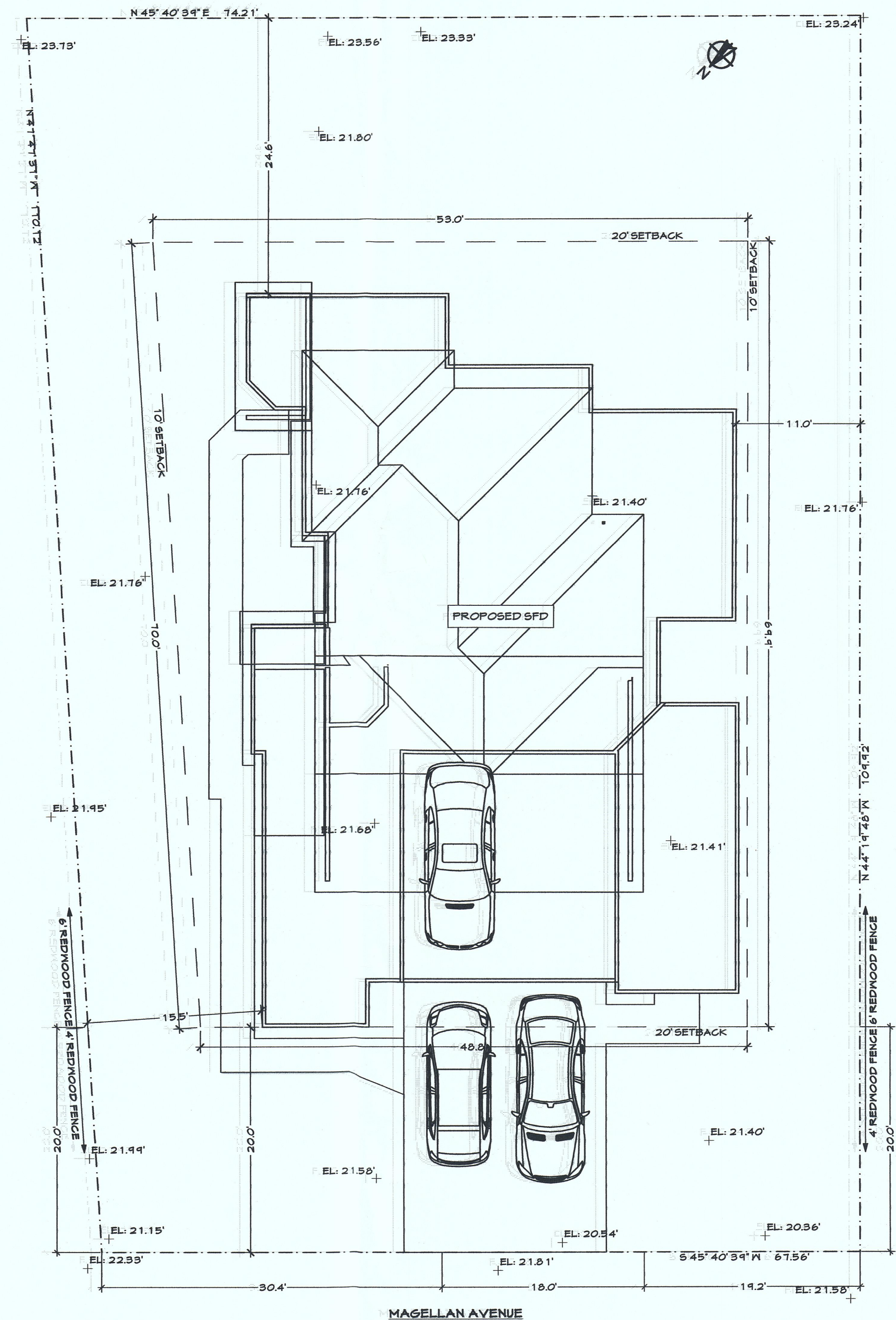
COMPLIANCE CODES (AS AMENDED BY STATE OF CALIFORNIA AND LOCAL JURISDICTION):  
 2013 CALIFORNIA BUILDING CODE  
 2013 CALIFORNIA RESIDENTIAL CODE  
 2013 CALIFORNIA ELECTRICAL CODE  
 2013 CALIFORNIA MECHANICAL CODE  
 2013 CALIFORNIA PLUMBING CODE  
 2013 CALIFORNIA ELECTRICAL CODE  
 2013 CALIFORNIA ENERGY CODE

**MAGELLAN AVE**  
 HALF MOON BAY, CA 94019  
 NEW SFD

FIRE SPRINKLERS:  
 YES  
 OWNER:  
 SERHIY KYBYCH  
 7929 DIAMOND ROCK DR.  
 ANTELOPE, CA 95043

IMPERVIOUS SURFACE	
LOWER LEVEL	2,323 SQFT
DRIVEWAY	360 SQFT
WALKWAY TO ENTRY	33 SQFT
WALKWAY TO SIDE DOOR	230 SQFT
TOTAL IMPERVIOUS AREA	2,954 SQFT (37.41%)

SHEET INDEX	
SHEET	TITLE
A1	COVER SHEET, SITE PLAN
A2.1	GARAGE LEVEL FLOOR PLAN
A2.2	MAIN & UPPER LEVEL FLOOR PLANS
A3	EXTERIOR ELEVATIONS
A4	BUILDING SECTIONS
TOPO: BOUNDARY & TOPOGRAPHY MAP	
C1	DRAINAGE PLAN
C2	EROSION CONTROL PLAN



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

1 A1 SITE PLAN  
SCALE: 1/8" = 1'-0"

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 San Mateo County  
 Planning Division

PLN2016-00280



DATE	BY

Alex Martynovskiy  
 10100 Countryside Way  
 Sacramento, USA 95821  
 ALEXMARTYNOVSKIY@GMAIL.COM

MAGELLAN AVE  
 HALF MOON BAY, CA 94019

APN: 048-013-600  
 OWNER: SERHIY KYBYCH  
 7929 DIAMOND ROCK DR.  
 ANTELOPE, USA 95043  
 (916) 214-5461  
 SHEET TITLE: SITE PLAN

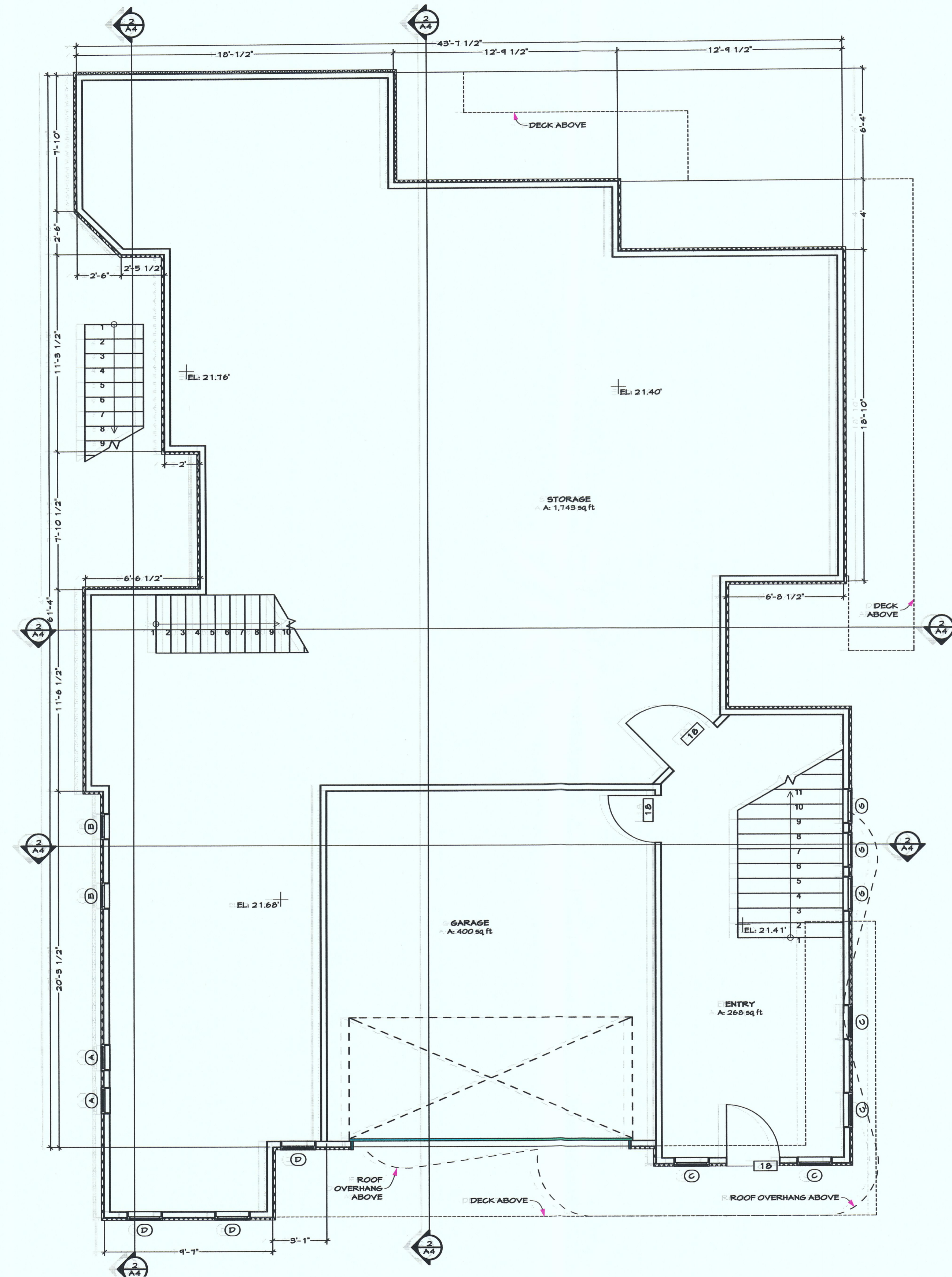
DESIGNER:  
 ALEX MARTYNOVSKIY  
 NAME:  
 SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
 PROJECT #: 15030  
 DATE: 04/05/2015  
 DRAWN BY: AM  
 SCALE: AS SHOWN

A1



DOOR SCHEDULE				
ID	QTY	DOOR	OP. TYPE	NOTES
1	1	2'-0" x 8'-0"	SWING	SOLID
2	1	2'-2" x 8'-0"	SWING	
3	4	2'-4" x 6'-8"	SWING	SOLID
4	6	2'-4" x 8'-0"	SWING	
5	2	2'-4" x 8'-0"	SWING	
6	2	2'-6" x 8'-0"	SWING	
7	3	2'-6" x 8'-0"	SWING	SOLID
8	1	2'-8" x 8'-0"	SWING	
9	2	2'-8" x 8'-0"	SWING	FRENCH DOOR
10	1	2'-8" x 8'-0"	SWING	
11	1	2'-8" x 8'-0"	SWING	ENTRY DOOR
12	1	3'-6" x 8'-0"	SWING	DECORATIVE ENTRY
13	1	3'-0" x 8'-0"	SWING	DECORATIVE ENTRY
14	1	4'-0" x 6'-8"	BI-FOLD	LAUNDRY
15	1	5'-0" x 8'-0"	SLIDING	CLOSET DOOR
16	1	5'-0" x 8'-0"	SLIDING	GLASS DOOR
17	3	6'-0" x 8'-0"	SLIDING	GLASS DOOR
18	3	6'-0" x 8'-0"	SLIDING	GLASS DOOR
19	1	3'-0" x 6'-8"		
20	1	2'-8" x 6'-8"		
21	1	3'-6" x 6'-8"		

WINDOW SCHEDULE				
ID	QTY	SIZE	OPERATION	TYPE
		WIDTH	HEIGHT	
B	4	1'-6"	1'-6"	FIXED
A	2	1'-6"	4'	FIXED
D	4	2'	6'	SINGLE HUNG
C	4	2'	5'	SINGLE HUNG
D	6	2'	4'	SINGLE HUNG
E	2	2'	7'	FIXED
F	2	2'	5'-6"	FIXED
G	5	2'	7'	FIXED
H	1	2'	2'	FIXED
I	1	2'	6'	FIXED
J	1	2'-6"	4'	SINGLE HUNG
K	2	2'-6"	6'	SINGLE HUNG
L	1	2'-6"	1'-8 1/4"	FIXED
M	1	3'	6'	SINGLE HUNG
N	1	3'	6'	FIXED
O	2	3'	6'-6"	FIXED
P	1	4'	7'	FIXED
Q	2	5'	3'-6"	FIXED
R	2	5'	6'	FIXED
S	2	6'	6'	FIXED
T	1	6'	7'	FIXED



**2 GARAGE LEVEL | FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

Alex Martynovskiy  
10100 Countryside Way  
Sacramento, USA 95821  
ALEX.MARTYNOVSKIY@GMAIL.COM

#	DATE	BY

APN: 248-013-600  
OWNER: BERHLY KYBYCH  
11929 DIAMOND ROCK DR.  
ANTELOPE, USA 95843  
(916) 214-5461  
SHEET TITLE: GARAGE LEVEL | FLOOR PLAN

DESIGNER: ALEX MARTYNOVSKIY  
NAME: ALEX MARTYNOVSKIY  
SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

PROJECT #: 15030  
DATE: 04/05/2015  
DRAWN BY: AM  
SCALE: AS SHOWN

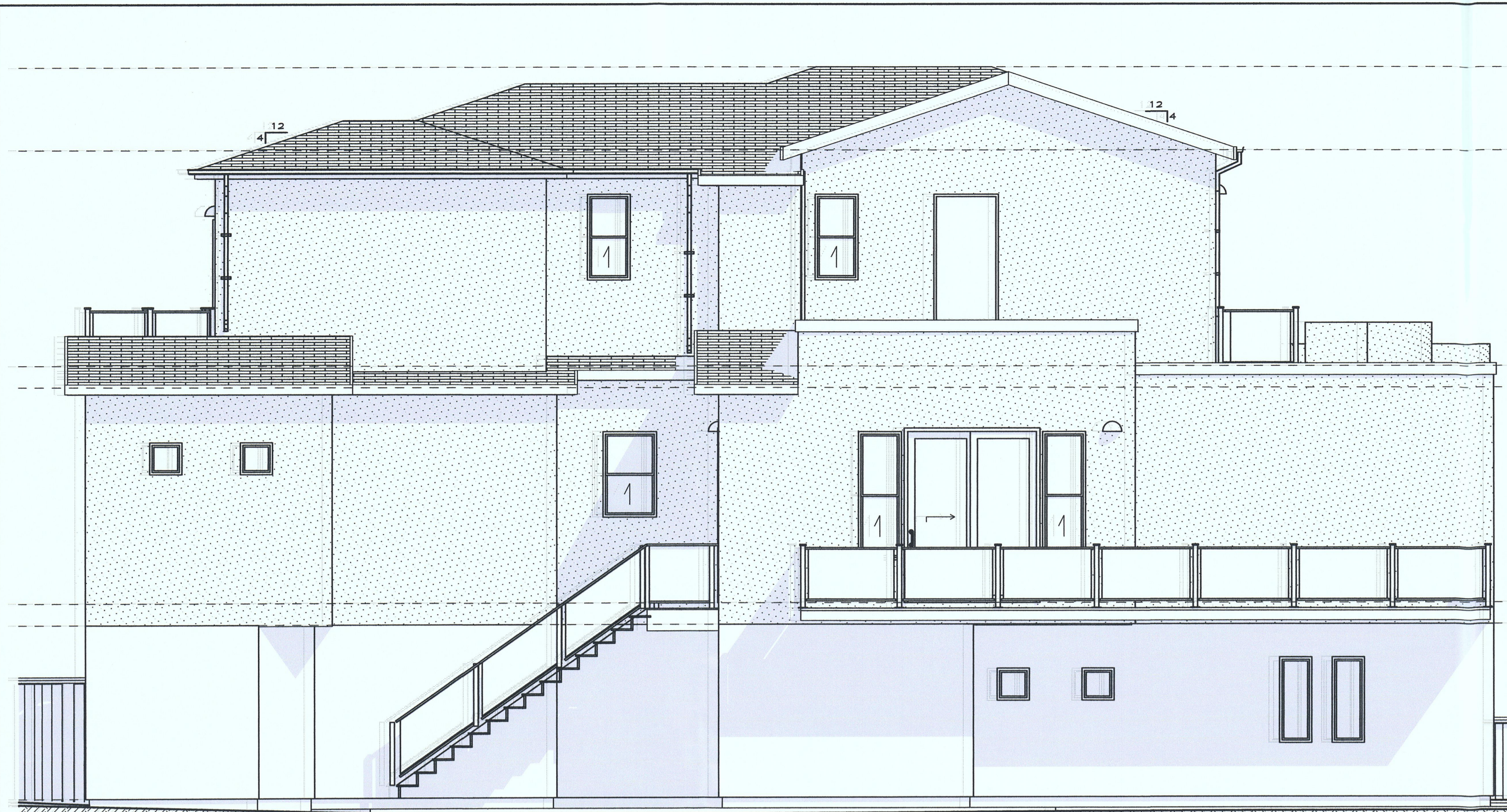
**A2.1**

MAGELLAN AVE  
HALF MOON BAY, CA 94019

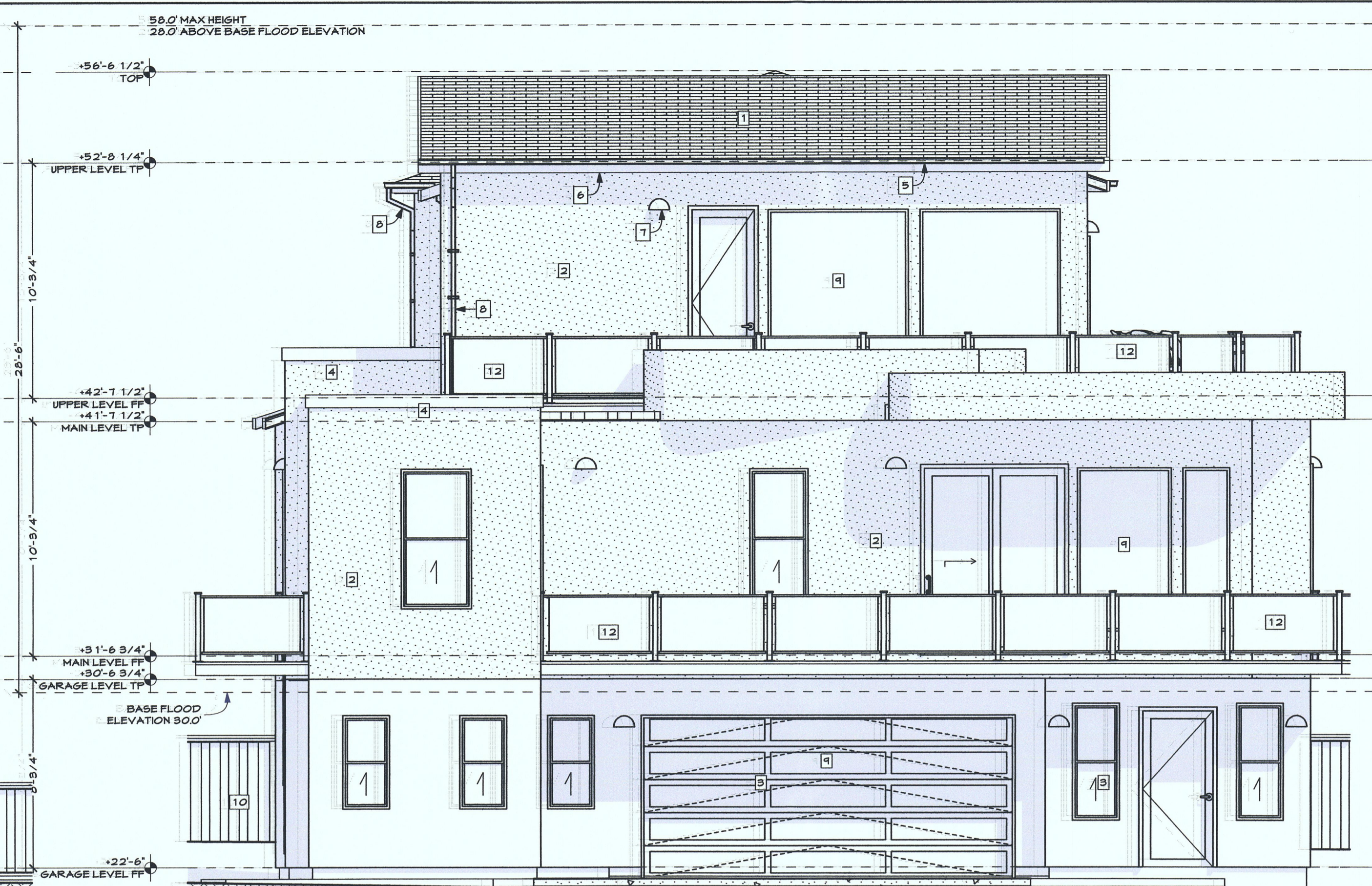




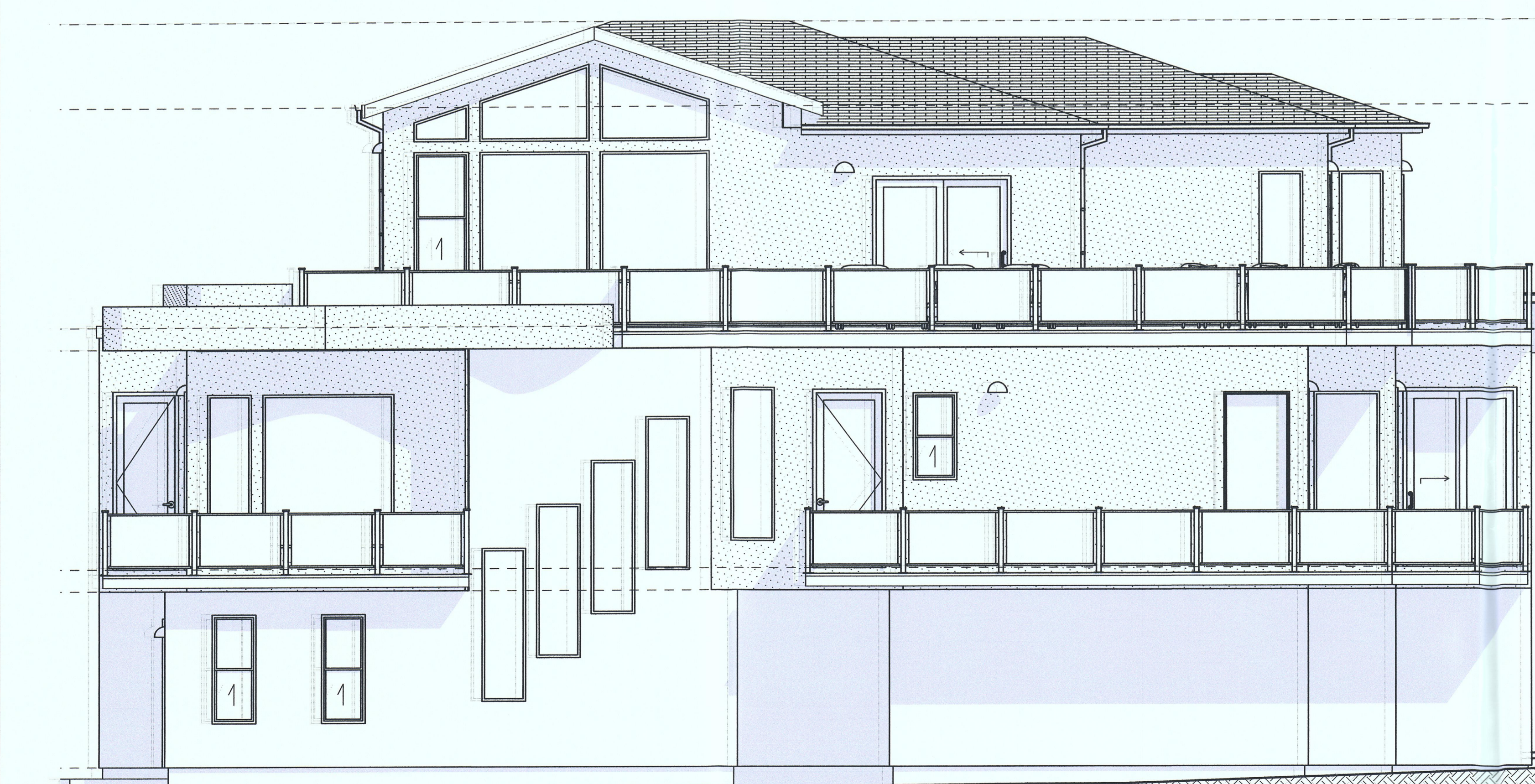




LEFT ELEVATION (NORTH-EAST)  
SCALE: 1/4" = 1'-0"



FRONT ELEVATION (NORTH-WEST)  
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION (SOUTH-WEST)  
SCALE: 1/4" = 1'-0"



REAR ELEVATION (SOUTH-EAST)  
SCALE: 1/4" = 1'-0"

**MATERIAL LEGEND**

- 30 YEAR MIN DIMENSIONAL SHINGLES WITH HEAVY RIDGE CAPS.
- ONE COAT STUCCO WALL
- BREAKAWAY WALL IN FLOOD ZONE
- PARAPET AT FLAT ROOF
- PAINTED GUTTERS
- PAINTED FASCIA BOARD
- DECORATIVE DOWNWARD POINTING LIGHT FIXTURE
- DOWNSPOUT
- VINYL DUAL-PANE LOW-E WINDOWS IN WHITE
- 6" REDWOOD FENCE
- 4" REDWOOD FENCE
- DECK RAILING

EARTH TONE FINISH COLORS TO BE SELECTED BY OWNER.

**EXTERIOR COLORS (BY BEHR)**

NAME	USAGE
SEAGULL GRAY N360-1	STUCCO WALL FINISH
ADIRONDACK BLUE N480-5	STUCCO TRIM, HANDRAIL & POST
YOGI S360-5	EXTERIOR PAINTED CEILING
AMAZON BREEZE GR-103	DOOR/WINDOW FRAME

Alex Martynovskiy  
10100 Countryside Way  
Sacramento, USA 95821  
ALEXMARTYNOVSKIY@GMAIL.COM

#	DATE	BY

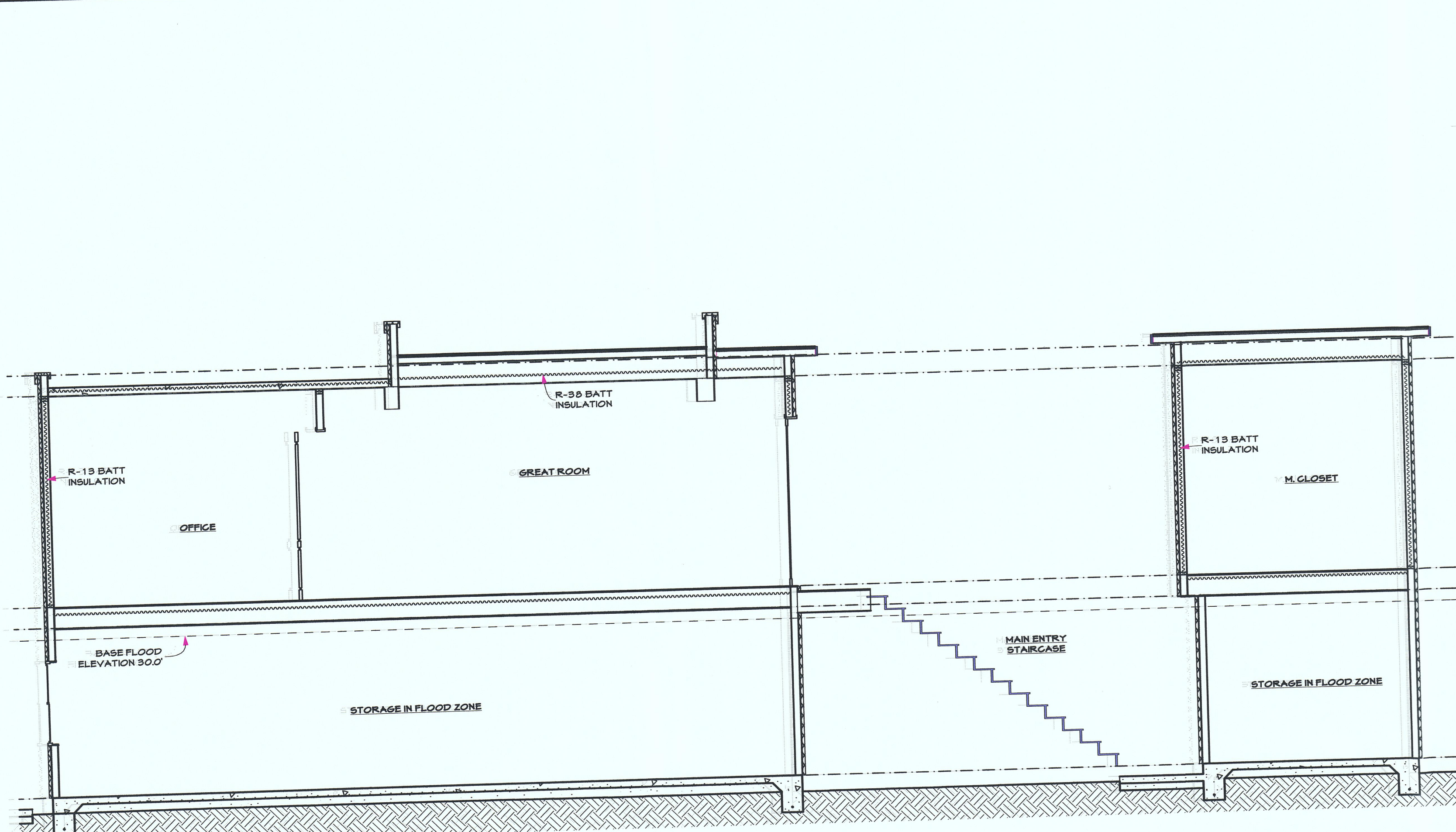
MAGELLAN AVE  
HALF MOON BAY, CA 94019

APN 048-013-600  
OWNER BERNY KYBYCH  
7424 DIAMOND ROCK DR ANTELOPE, USA 95843  
(916) 214-5461  
SHEET TITLE EXTERIOR ELEVATIONS

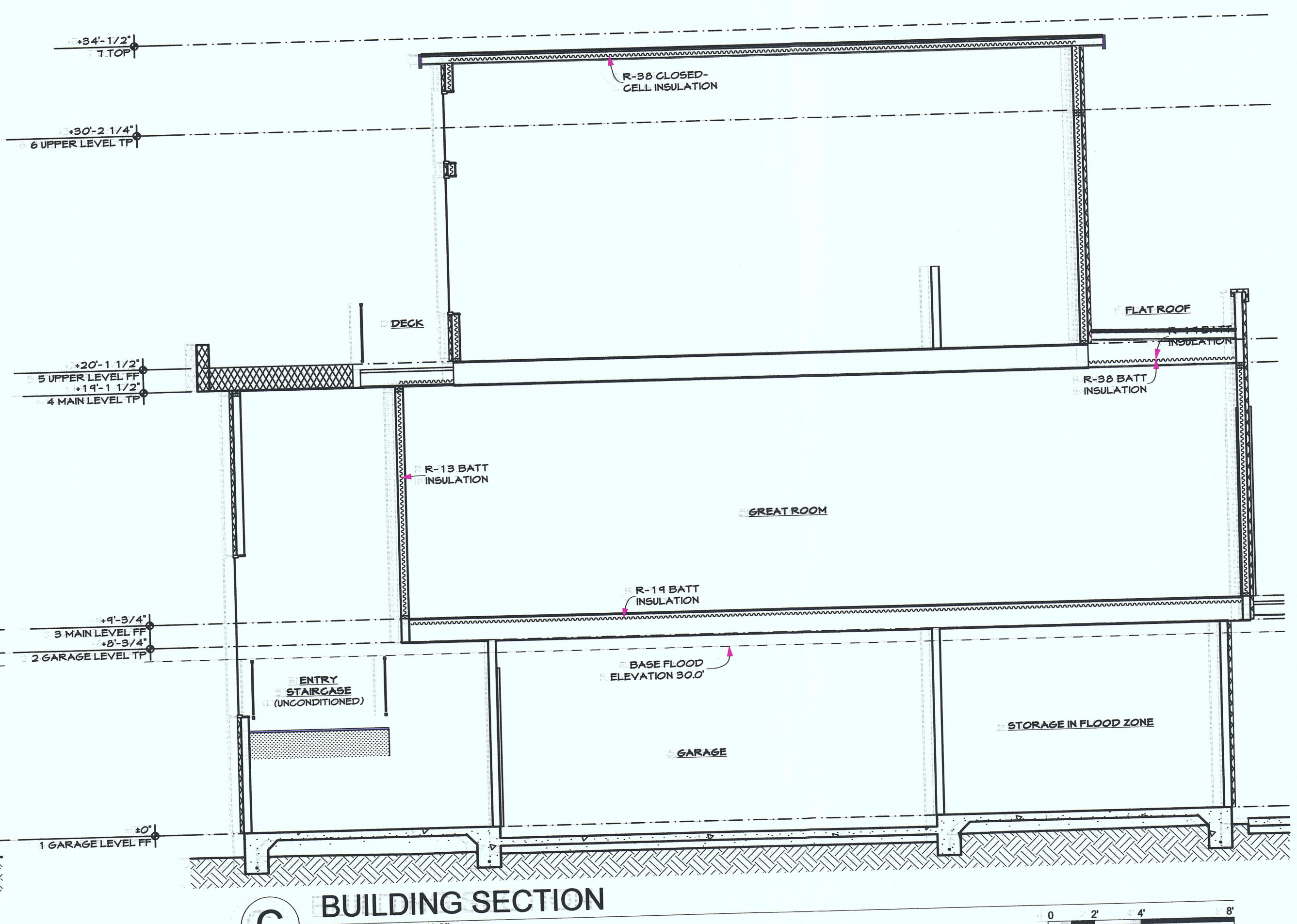
DESIGNER ALEX MARTYNOVSKIY  
NAME  
SIGNATURE DATE  
PROJECT # 15090  
DATE 04/05/2015  
DRAWN BY AM  
SCALE AS SHOWN

A3

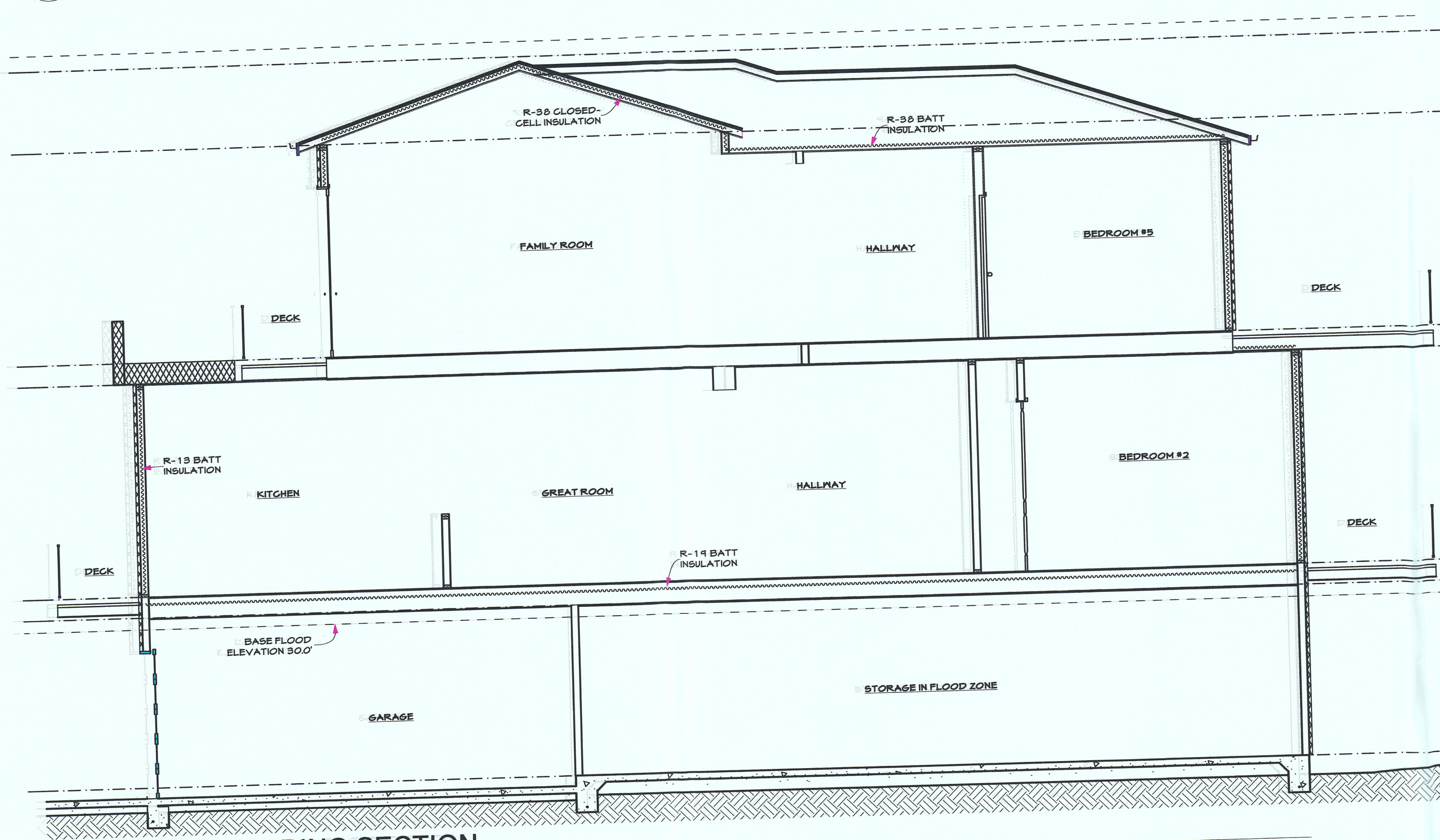




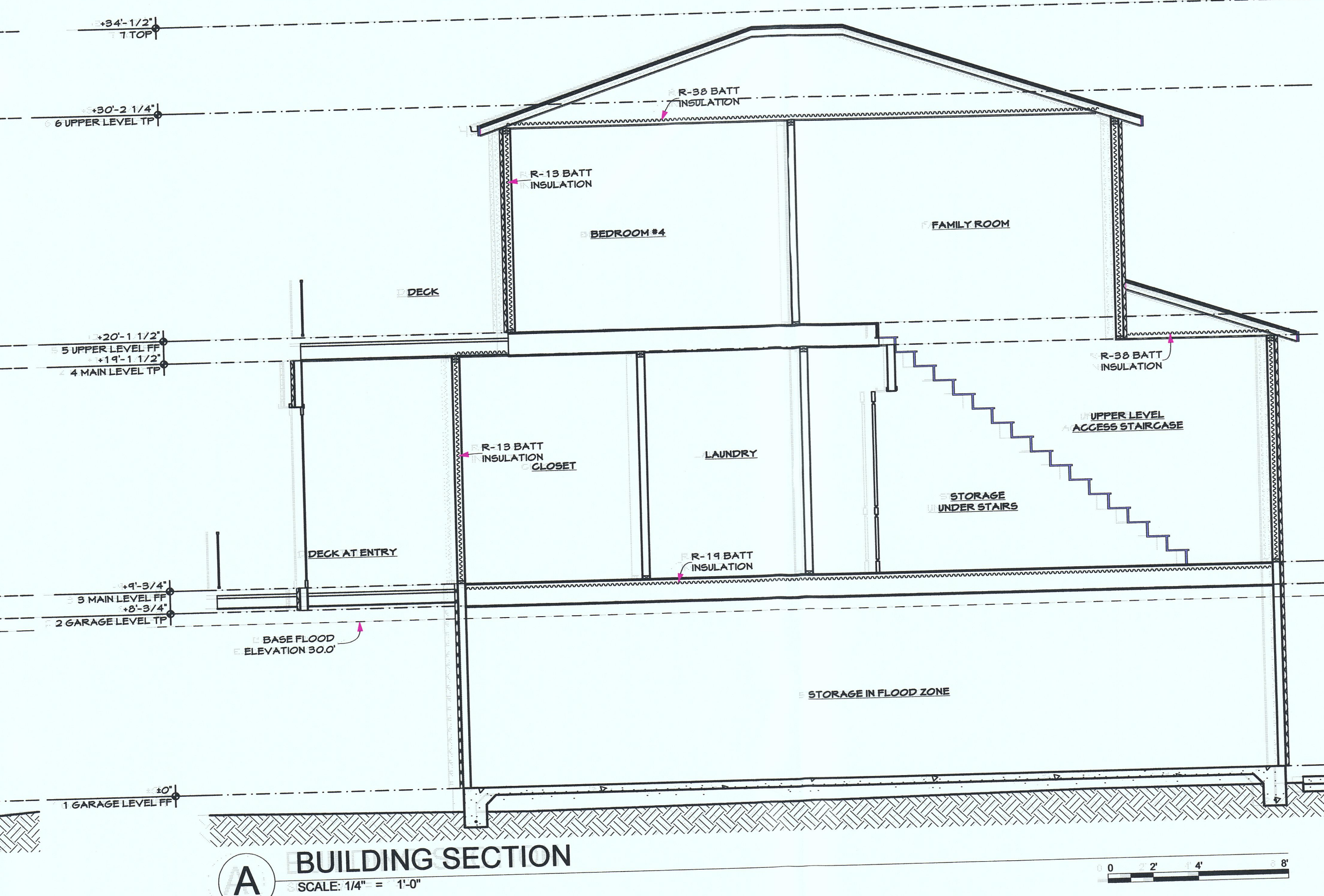
**D BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**C BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**B BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**A BUILDING SECTION**  
SCALE: 1/4" = 1'-0"

ALEX MARTYNOVSKY 10100 Countryside Way Sacramento, USA 95821 ALEX.MARTYNOVSKIY@GMAIL.COM		
#	DATE	BY

MAGELLAN AVE  
HALF MOON BAY, CA 94019

APN 048-013-600  
OWNER BERHY KYBYCH  
1124 DIAMOND ROCK DR. ANTELOPE, USA 95843  
(916) 214-5461  
SHEET TITLE BUILDING SECTIONS

DESIGNER  
ALEX MARTYNOVSKY  
NAME  
SIGNATURE DATE  
PROJECT #: 15030  
DATE: 04/05/2015  
DRAWN BY: AM  
SCALE: AS SHOWN

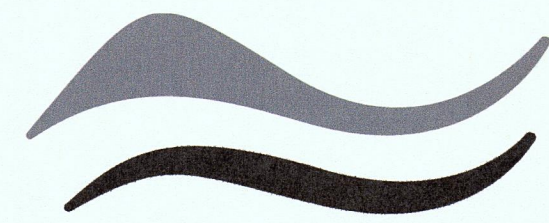












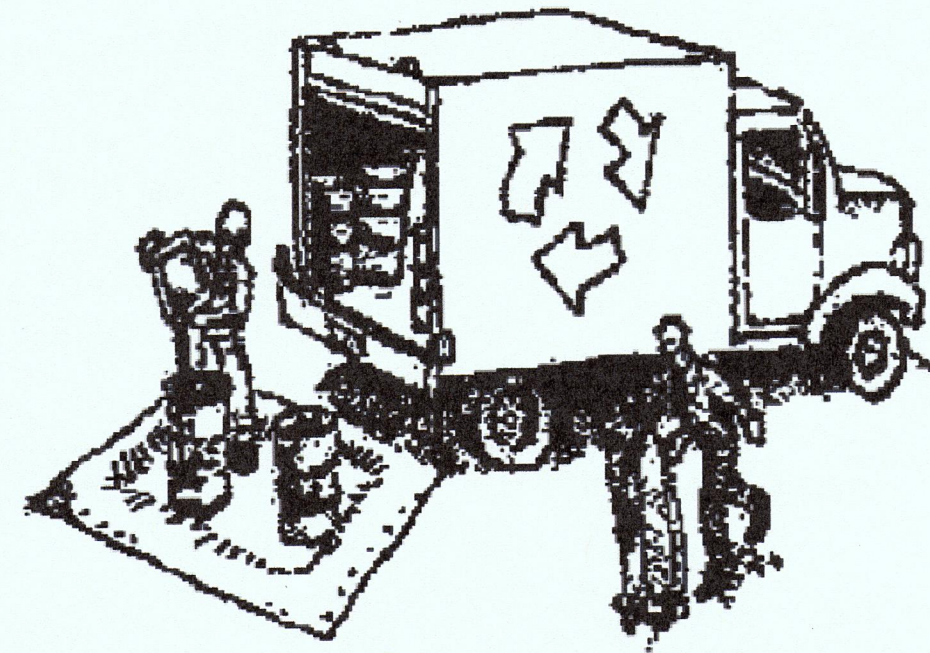
SAN MATEO COUNTYWIDE  
**Water Pollution  
Prevention Program**

Clean Water. Healthy Community.

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



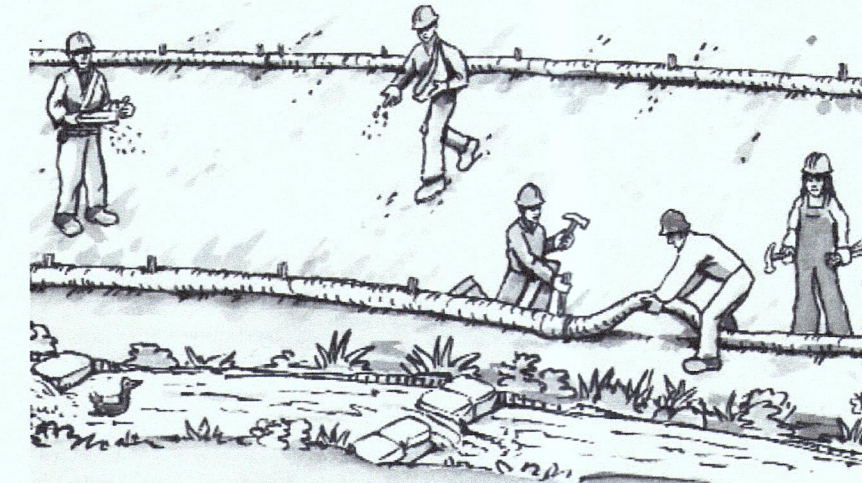
### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving

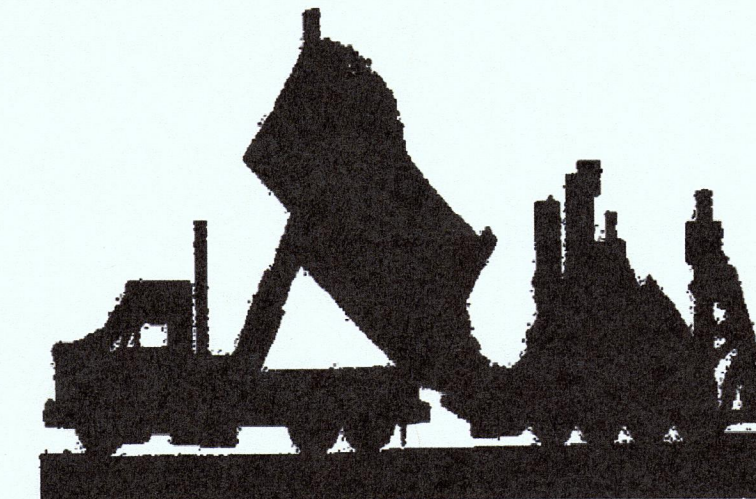


- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work

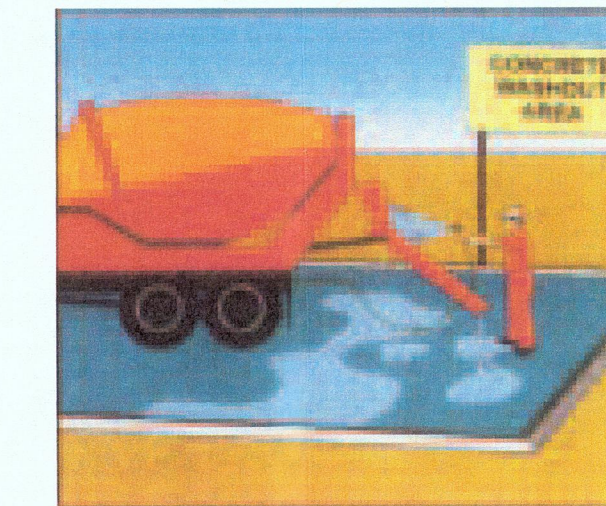


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

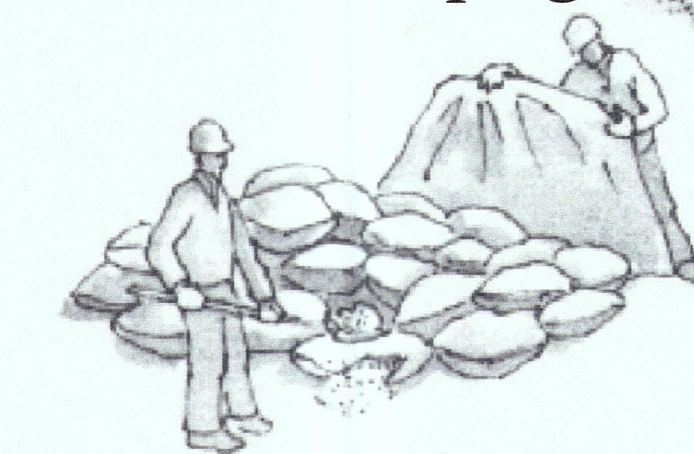
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



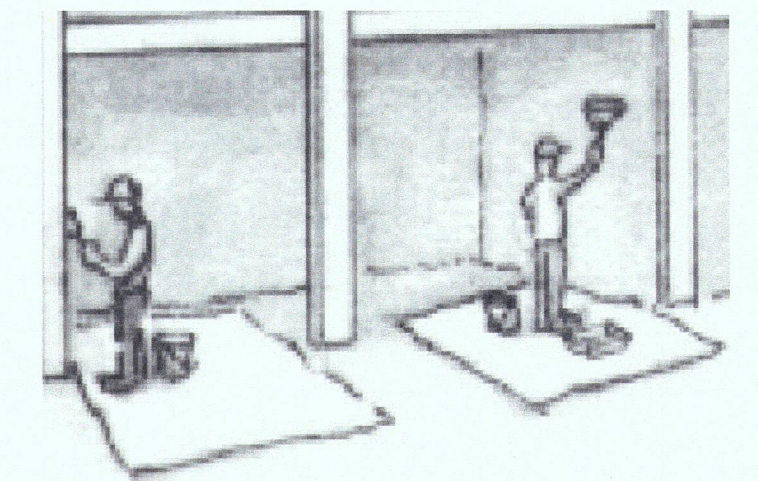
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

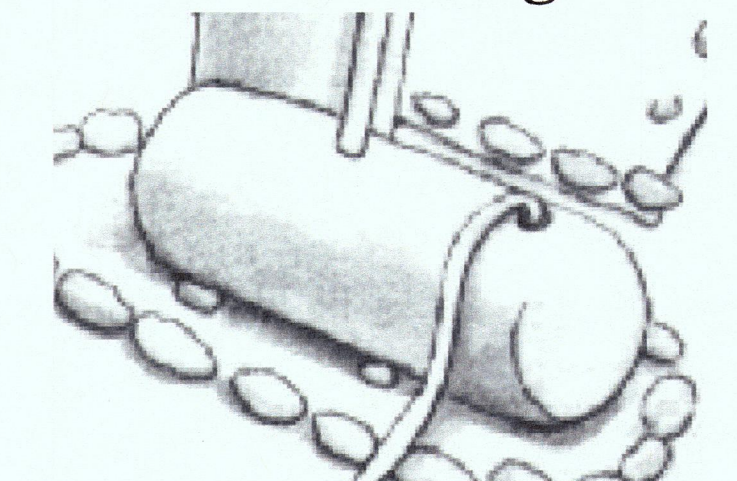
## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

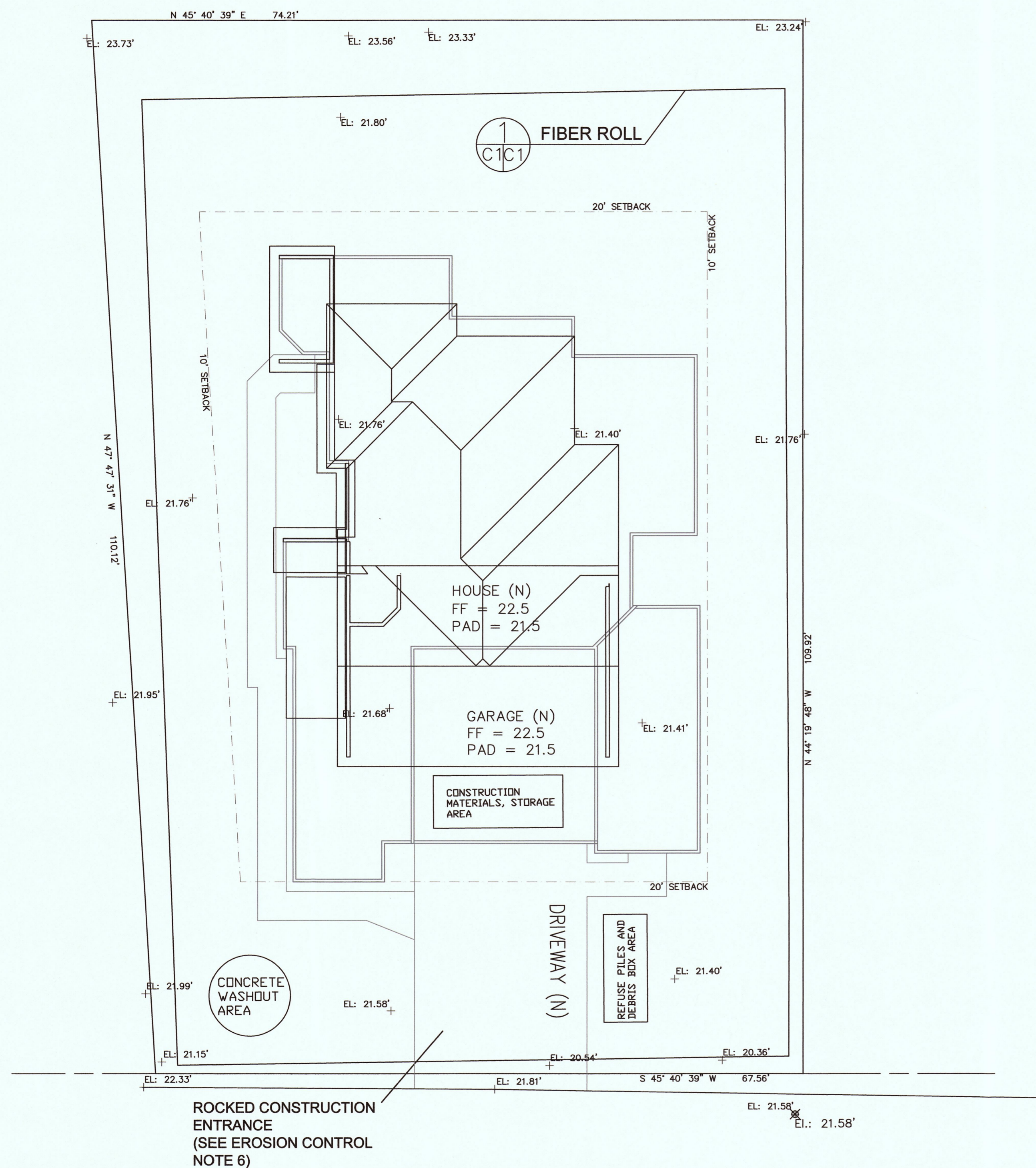
## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

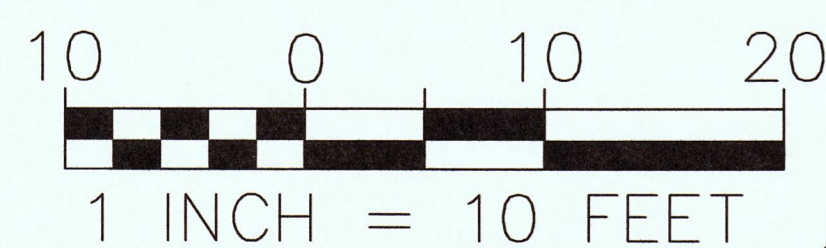
**Storm drain polluters may be liable for fines of up to \$10,000 per day!**





MAGELLAN AVENUE

SSMH  
RIM=20.99  
INV=13.54



EL: 21.65' EL: 21.21'

**EROSION CONTROL POINT OF CONTACT**

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: SERHIY KYBYCH  
 TITLE/QUALIFICATION: OWNER  
 PHONE: 916-214-5461  
 PHONE:  
 E-MAIL: SSSERHIY@HOTMAIL.COM

• USE OF PLASTIC SHEETING BETWEEN OCTOBER 1st AND APRIL 30th IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.

**GENERAL EROSION AND SEDIMENT CONTROL NOTES**

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site
- Use of plastic sheeting between October 1st and April 30th is not acceptable, unless for use on stockpiles where the stockpile is also protected with fiber rolls containing the base of the stockpile.
- The tree protection shall be in place before any grading, excavating or grubbing is started.

**DUST CONTROL NOTES**

1. Water or cover stockpiles of debris, soil, sand or other materials that can be blown by the wind.
2. Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least 2 feet of freeboard.
3. Apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking and staging areas at construction sites. Also, hydroseed or apply non-toxic soil stabilizers to inactive construction areas.
4. Sweep daily (preferably with water sweepers) all paved access roads, parking and staging areas at construction areas.
5. Sweep adjacent public streets daily (preferably with water sweepers) if visible soil material is carried onto them.
6. Enclose, cover, water twice daily or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.)
7. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
8. The approved plan shall be implemented for the duration of any grading and construction activities that generate dust and other airborne particles.

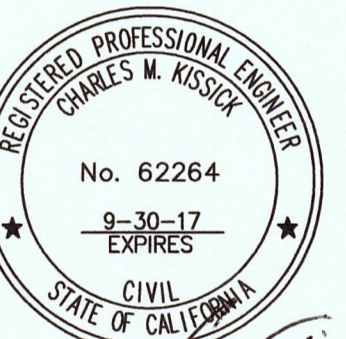
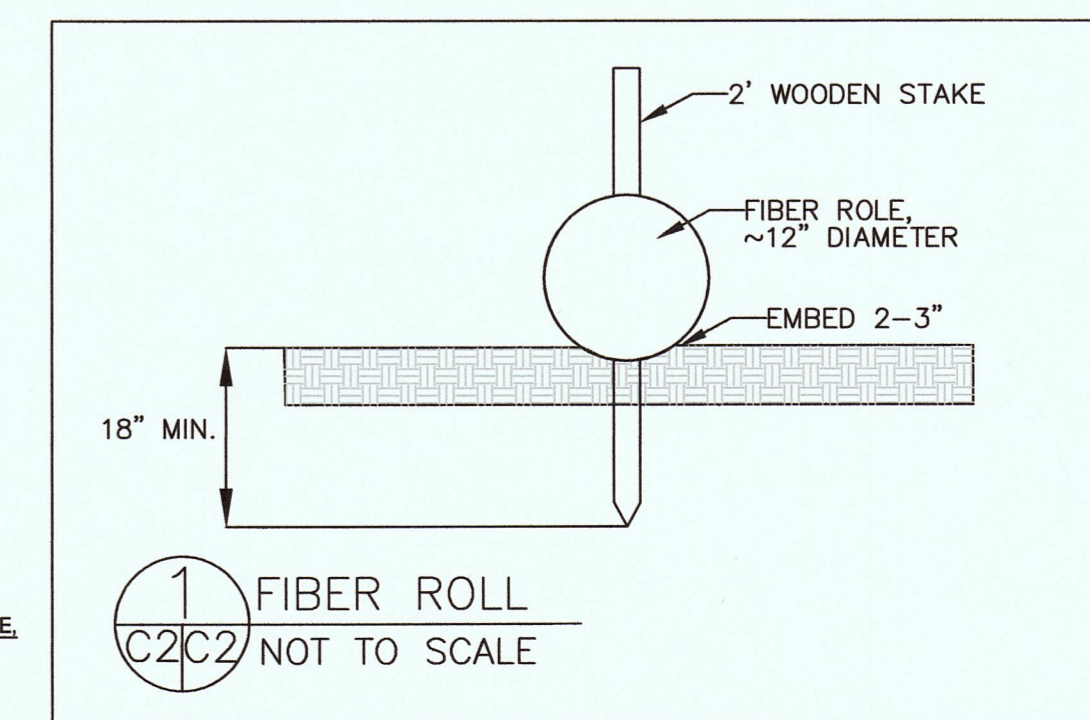
**BMP SCHEDULE**

1. INSTALL FIBER ROLLS PRIOR TO SITE CLEARING.
2. INSTALL ROCKED CONSTRUCTION ENTRANCE PRIOR TO EARTHWORK FOR FOUNDATION.
3. INSTALL CONCRETE WASHOUT AREA PRIOR TO FIRST CONCRETE DELIVERY.

NOTE: SEE ATTACHED BMP SHEET FOR ALL OTHER ASPECTS OF BEST MANAGEMENT PRACTICES.

**EROSION CONTROL NOTES**

- FIBER ROLL  
INSTALL AT LOCATIONS SHOWN.  
AFIX AS SHOWN IN DETAIL 1
1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED:
  2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
  3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
  4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
  5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
  6. ROCKED CONSTRUCTION ENTRANCE SHALL EXTEND OVER LENGTH OF DRIVEWAY, 26 FEET LONG BY 18 FEET WIDE AND CONFORM TO THE FOLLOWING:
    - A. THE MATERIAL FOR THE PAD SHALL BE 2 TO 3 INCH STONE.
    - B. PAD SHALL BE NOT LESS THAN 8" THICK.
    - C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DRIPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
    - D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
  7. CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE)



Sigma Prime Geosciences, Inc.  
 SIGMA PRIME GEOSCIENCES, INC.  
 332 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590  
 FAX 728-3593

DATE: 6-8-16  
 DRAWN BY: CMK  
 CHECKED BY: AZG  
 REV. DATE:  
 REV. DATE:  
 REV. DATE:

**EROSION CONTROL PLAN**  
 KYBYCK PROPERTY,  
 MAGELLAN AVE., MIRAMAR  
 048-013-600

SHEET

C-2