

# Application for Design Review by the County Coastsides Design Review Committee

County Government Center ■ 455 County Center ■ Redwood City CA 94063  
Mail Drop PLN 122 ■ 650.363.4161 ■ FAX 650.363.4849

Permit #: PLN 2015.00561

Other Permit #: PRE 2015.00068

### Applicant:

Name: EDWARD C LOVE, ARCHITECT

Address: 720 MILL ST

HALF MOON BAY Zip: 94019

Phone, W: 650.728.7615 H: 650.728.1723

Email: EDWARDCLOVEARCH@GMAIL.COM

### Owner (if different from Applicant):

Name: SUSAN CARKEEK + BRUCE HARRIS

Address: PO BOX 1581

EL GRANADA, CA Zip: 94018

Phone, W: 650.766.0943 H: 650.766.822

Email: BHARRIS@COASTSIDE.NET

### Architect or Designer (if different from Applicant):

Name: SAME AS ABOVE

Address: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone, W: \_\_\_\_\_ H: \_\_\_\_\_ Email: \_\_\_\_\_

### Project Location:

APN: 047.243.010

Address: AVE. PORTOLA + COLUMBUS ST

EL GRANADA, CA Zip: 94018

Zoning: R-1/S-17/DR/CD

Parcel/lot size: 6170 sq. ft.

### Site Description:

- Vacant Parcel
- Existing Development (Please describe): \_\_\_\_\_

### Project:

- New Single Family Residence: 2800 sq. ft
- Addition to Residence: \_\_\_\_\_ sq. ft
- Other: \_\_\_\_\_

### Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

### Describe Project:

SINGLE FAMILY, WOOD FRAME RESIDENCE

**4. Materials and Finish of Proposed Buildings or Structures**

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	<u>HARDIE PLANK / STONE VENEER</u>	<u>RUSTIC / MAZANITA RIVER ROCK / CLIFFSTONE</u>	<input type="checkbox"/>
b. Trim	<u>HARDIE TRIM</u>	<u>IRON GRAY</u>	<input type="checkbox"/>
c. Windows	<u>VINYL</u>	<u>WHITE</u>	<input type="checkbox"/>
d. Doors	<u>FIBERGLASS / WOOD</u>	<u>IRON GRAY / NATURAL STAIN</u>	<input type="checkbox"/>
e. Roof	<u>COMP SHINGLE</u>	<u>DARK BROWN / BLACK</u>	<input type="checkbox"/>
f. Chimneys	<u>NA</u>		<input type="checkbox"/>
g. Decks & railings	<u>REDWOOD</u>	<u>NATURAL STAIN</u>	<input type="checkbox"/>
h. Stairs	<u>REDWOOD</u>	<u>" "</u>	<input type="checkbox"/>
i. Retaining walls	<u>EL DORADO STONE</u>	<u>MANZANITA CLIFFSTONE</u>	<input type="checkbox"/>
j. Fences	<u>REDWOOD</u>	<u>NATURAL STAIN</u>	<input type="checkbox"/>
k. Accessory buildings	<u>NA</u>		<input type="checkbox"/>
l. Garage/Carport	<u>WOOD DOORS</u>	<u>NATURAL STAIN</u>	<input type="checkbox"/>


**5. STATEMENT OF COMPLIANCE**

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

**6. SUBMITTER'S CERTIFICATION**

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: \_\_\_\_\_ Applicant: 

Date: \_\_\_\_\_ Date: 2/9/17

# Environmental Information Disclosure Form

PLN 2015-00561  
BLD PZE 2015-00068

Project Address: AVE. PORTOLA & COLUMBUS  
EL GRANADA, CA 94018

Name of Owner: SUSAN CARKEEK & BRUCE HARRIS  
Address: PO BOX 1581, EL GRANADA CA 94018  
Phone: 650.766.8222

Assessor's Parcel No.: 047 - 243 - 010

Name of Applicant: ~~SAME~~ ED LOVE, ARCH  
Address: 720 MILL ST. HALF MOON BAY, 94019  
Phone: 650.728.1729

Zoning District: R1/S17/DR/CD

## Existing Site Conditions

Parcel size: 6170 SQFT

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). CONSTRUCTION OF 2 STORY HOUSE ON VACANT LOT

## Environmental Review Checklist

### 1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
	X	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	X	b. Construction of a new multi-family residential structure having 5 or more units?
	X	c. Construction of a commercial structure > 2,500 sq.ft?
X		d. Removal of mature tree(s) ( ≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? <u>12</u>
X		e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation: <u>85</u> c.y. Fill: <u>25</u> c.y.
	X	f. Subdivision of land into 5 or more parcels?
	X	g. Construction within a State or County scenic corridor?
	X	h. Construction within a sensitive habitat?
	X	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	X	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:  
SEE SURVEY & SITE PLAN FOR TREES TO BE REMOVED

Signature required on reverse →

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Please explain all "Yes" answers:

SEE SURVEY & SITE PLAN FOR TREES TO BE REMOVED



#  
-  
VERSION 1  
COLUMBUS VIEW

#  
-  
VERSION 1  
AVE PORTOLA VIEW



#  
-  
VERSION 2  
COLUMBUS VIEW



#  
-  
VERSION 2  
AVE PORTOLA VIEW

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FEB 13 2017  
San Mateo County  
Planning and Building Department

REVISION

Edward C. Love  
Architect  
720 MILL STREET

New Home for:  
Carkeek-Harris  
Ave. Portola & Columbus St.

LICENSED ARCHITECT  
EDWARD C. LOVE  
No. C23077  
Ren. 1/31/17  
STATE OF CALIFORNIA

DATE: 11-23-16  
SCALE:  
DRAWN: GMH  
JOB: CARKEEK-HAR  
SHEET:

OF SHEET

# GENERAL NOTES

A. Before submitting a proposal for this work, the bidder shall visit the site and learn the existing conditions. He shall examine the plans and specifications and base his bid on them. During construction, no changes from plans and specifications shall be made without written consent of the Architect and Owner. Structural changes must be approved by the Architect and Structural Engineer.

B. The General Contractor (G.C.) shall obtain and pay for all permits (except those paid for by the Owner) and licenses and shall give all notices. The G.C. is required to comply with all current Codes, Ordinances, & Regulations related to this project. Any conflict between drawings, specifications and ordinances shall be immediately referred to the Architect in writing. The G.C. for this work shall be currently licensed by the State of California. The employees and Subcontractors used by the G.C. to construct and finish the work shown on the plans must all be skilled workmen under the directions of a competent foreman. The G.C. shall continuously maintain adequate protection of all work from damage and shall protect the Owner's property and adjacent property from injury, damage, or loss arising from this contract. Sales tax shall be paid by the G.C. and included in the bid.

C. The G.C. shall, at all times, keep the premises and streets free of waste and rubbish caused by the work, and at completion, shall remove all rubbish, surplus materials and equipment and leave the work 'broom clean'. The G.C. shall verify the location of all existing underground utilities prior to excavation and shall maintain, keep in service, and protect against damage, all existing utilities and city services during construction. Any existing utilities to be abandoned shall be properly disconnected, plugged, or capped as required by code and/or sound construction practices. G.C. to provide an operation and maintenance manual to occupant or owner.

D. The Owner may order extra work or make changes by altering, adding to, or deducting from the work. The Contract sum shall be adjusted accordingly and adequate records shall be kept by the G.C. to substantiate any additional charges. All such work shall be executed under the conditions of the original Contract Documents.

E. The Owner shall not be liable or responsible for any accident, loss, injury, or damages happening or accruing during the term of the performance of the work and in connection therewith, to persons and/or property. The G.C. shall have in full force and effect during the life of this Contract, full coverage Liability and Workmen's Compensation Insurance, which shall comply with California laws and will not be canceled or changed during the term of this Contract without notice being given to the Owner, and shall require all intermediate and Subcontractors to take out and maintain similar policies of insurance. All such policies shall be with insurance companies acceptable to the Owner. Unless expressly stated otherwise, the Owner will take out and carry a comprehensive insurance policy including fire, extended coverage, vandalism and malicious mischief protecting both his interest and that of the G.C.

F. In addition to guarantees called for elsewhere in these specifications, the G.C. shall guarantee "fit and finish" work for a period of one (1) year after notice of completion is filed, against defective materials or faulty workmanship, that is discovered and reported within that period. The warranty period for latent defects is 10 years.

G. In general the drawings will indicate dimensions, position, type of construction, specifications, qualities and methods. Any work indicated on the drawings, and not mentioned in the specifications, or vice versa, shall be furnished as though fully set forth in both. Work not particularly detailed, marked, or specified shall be the same as similar parts that are detailed, marked or specified. The larger the scale of the drawing, the more precedent, i.e.: 3 inches per foot scale governs 1/4 inch per foot scale. Written dimensions on these drawings shall have precedence over scaled dimensions. Written dimensions are approximate and must be verified by G.C. The G.C. shall verify, and be responsible for all existing conditions and dimensions prior to, and during, all phases of work.

H. If any Subcontractor finds any lack of information, discrepancy, and/or omissions in these drawings, or if the Subcontractor is unclear as to the drawings' meaning and/or intent, the Subcontractor shall contact the G.C., who shall then contact the Architect at once for interpretation and/or clarification before proceeding with that portion of the work.

I. The G.C. shall provide adequate concealed blocking and anchoring for all ceiling- and wall-mounted equipment, hardware, fixtures, and accessories.

J. All products listed in these drawings by ICBO/NER number shall be installed per the report and manufacturer's written instructions. Product substitution for products listed shall also have an ICBO/NER-approved written evaluation report and be approved and listed by other nationally-recognized testing agencies.

K. Exterior openable windows and doors shall be weatherstripped. All open joints, penetrations, and other openings in the building envelope shall be sealed, caulked, gasketed, and/or weatherstripped to limit, or eliminate, air leakage.

L. See structural sheets for structural materials, dimensions and details.

M. See attached Title 24 forms and/or calculation for project energy efficiency requirements.

N. Upon request, verification of compliance with the relevant Codes may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the Building Official which show substantial conformance.

	EXISTING		PROPOSED		TOTAL		ALLOWED	
	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%
LOT AREA	6170							
PARCEL COVERAGE	-0-		2153	34.9	2153	34.9	2160	35.0
FLOOR AREA			FIRST FLOOR 1552		FIRST FLOOR 1552			
			SECOND FLOOR 647		SECOND FLOOR 647			
			GARAGE 601		GARAGE 601			
		TOTAL 2800	45.4	TOTAL 2800	45.4		3270	53.0

## SITE DATA

APN: 036-054-140 **647-243-010**  
 ZONING: ~~GHS-3(CD)DR~~ **R1/S-17(DR/CD)**  
 TYPE OF CONSTRUCTION: V-N

## Sheet List

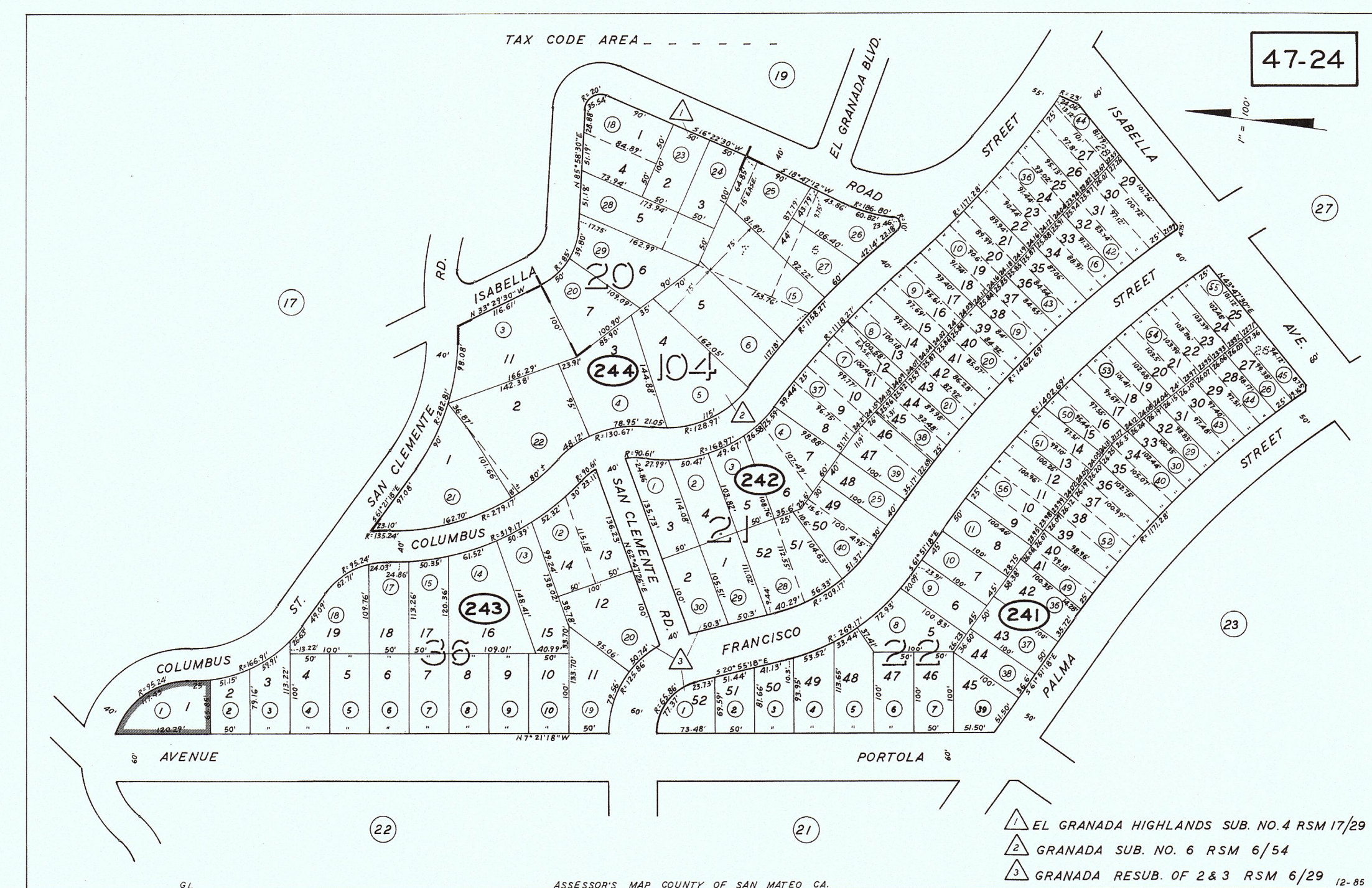
Sheet Number	Sheet Name
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A104	ROOF PLAN
CS	COVER SHEET
SP	SITE PLAN
SU	SURVEY
A101	FOUNDATION
A102	FIRST FLOOR
A103	SECOND FLOOR
A201	EAST & NORTH ELEVATIONS
A202	WEST & SOUTH ELEVATIONS
A203	DOOR & WINDOW SCHEDULE
A301	SECTION VIEWS
A501	DETAILS
A502	DETAILS
MEP1	FIRST FLOOR LIGHTING & ELECTRICAL
MEP2	SECOND FLOOR LIGHTING & ELECTRICAL
MEP3	THIRD FLOOR LIGHTING & ELECTRICAL

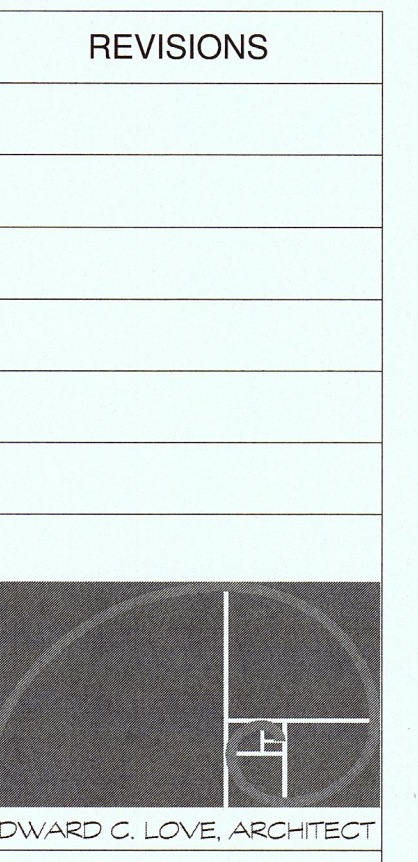
## APPLICABLE CODES

SAN MATEO COUNTY

SAN MATEO COUNTY ZONING AND BUILDING ORDINANCES  
 2013 CALIFORNIA RESIDENTIAL CODE  
 2013 CALIFORNIA BUILDING CODE AND AMENDMENTS  
 2013 CALIFORNIA MECHANICAL CODE  
 2013 CALIFORNIA PLUMBING CODE  
 2013 CALIFORNIA ELECTRICAL CODE  
 2013 CALIFORNIA ENERGY CODE  
 2013 CALIFORNIA FIRE CODE  
 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE  
 ANY APPLICABLE COUNTY CODES, ORDINANCES, OR AMENDMENTS TO THE CALIFORNIA BUILDING CODE



**RECEIVED**  
 FEB 13 2017  
 San Mateo County  
 Planning and Building Department



Edward C. Love  
 Architect  
 720 MILL STREET  
 HALF MOON BAY, CA 94019  
 (650) 728-7615  
 edwardclovearch@gmail.com

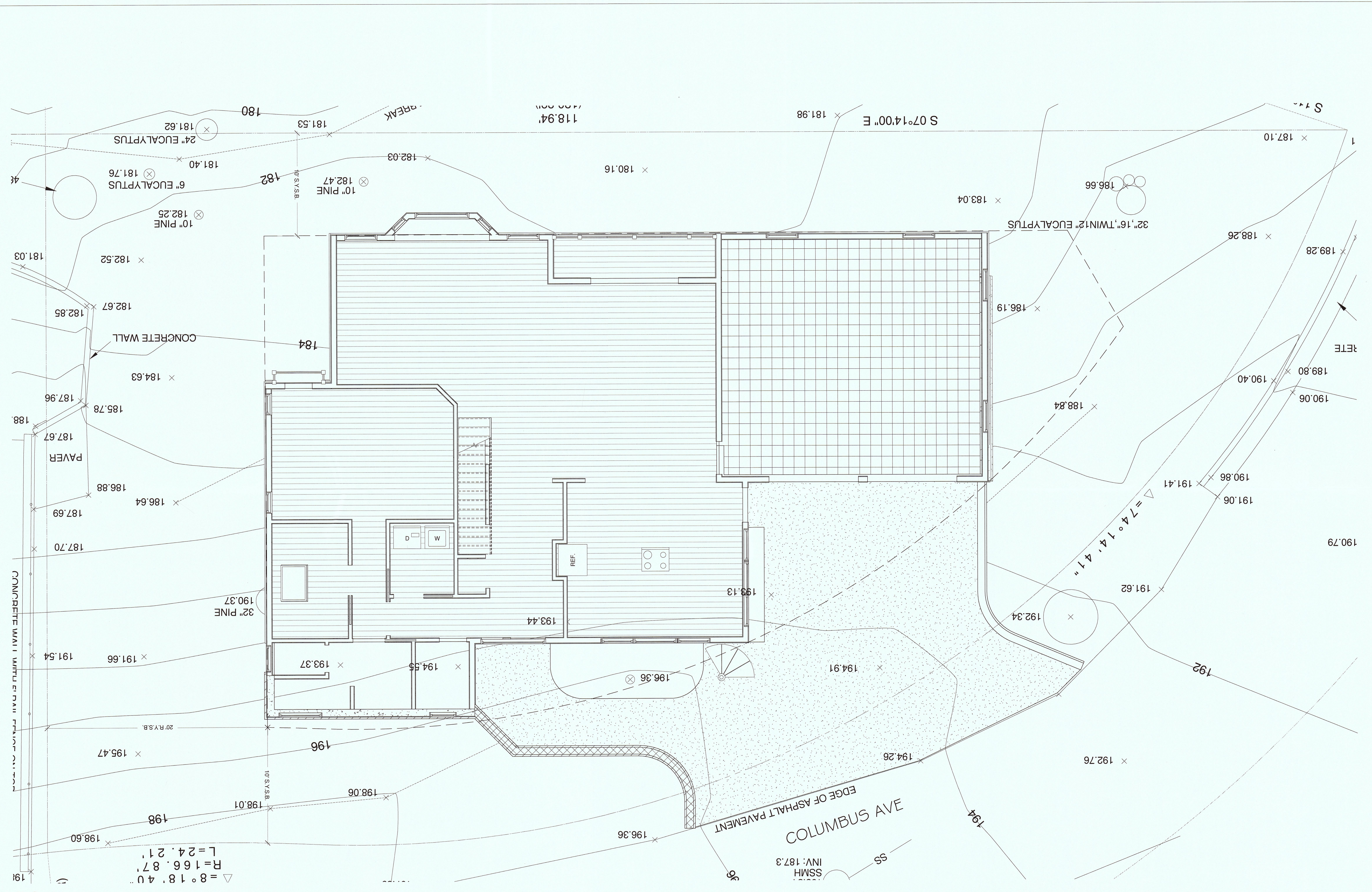
New Home for:  
 Carkeek-Harris  
 Ave Portola & Columbus St  
 Montara, CA

COVER SHEET



DATE: 12/07/16  
 SCALE: As indicated  
 DRAWN: GMH  
 JOB: CARKEEK-HARRIS

SHEET: **CS**  
 OF SHEETS



Site Copy 1  
1/4" = 1'-0"

△ = 8° 18' 40"  
R = 166.87'  
L = 24.21'

REVISIONS	



EDWARD C. LOVE, ARCHITECT

Edward C. Love  
Architect  
720 MILL STREET  
HALF MOON BAY, CA 94019  
(650) 728-7615  
edwardclovearch@gmail.com

New Home for:  
Carkeek-Harris  
Ave Portola & Columbus St  
Montara, CA

SITE PLAN



DATE:	12/07/19
SCALE:	1/4" = 1'-0"
DRAWN:	GMH
JOB:	CARKEEK-HARRIS
SHEET:	SP
OF SHEETS:	

**BASIS OF BEARINGS**

BEARINGS SHOWN HEREON TAKEN FROM THE RECORD OF SURVEY BY BGT WHICH WAS FILED FOR RECORD IN VOLUME 41 OF LLS MAPS PAGE 7 ON APRIL 21, 2015, SAN MATEO COUNTY RECORDS

**BENCHMARK**

ELEVATIONS SHOWN HEREON ARE BASED UPON NGVD 29 ("MEAN SEA LEVEL") DATUM.

BENCHMARK TO USE FOR SITE WORK IS THE SEWER MANHOLE LID WITH AN ELEVATION OF 188.21 FEET.

**NOTES:**

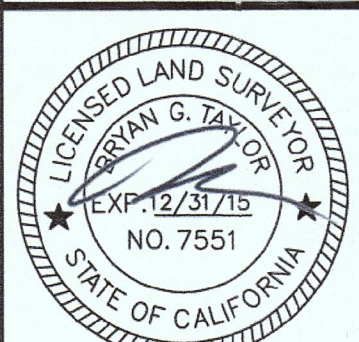
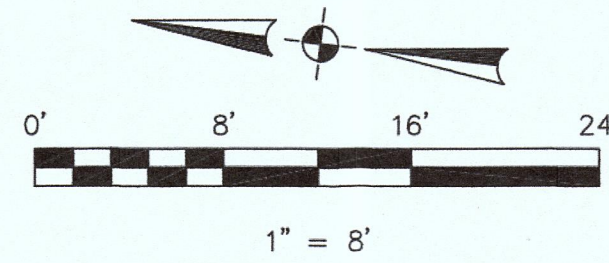
BGT RELIED UPON A CORNERSTONE TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. CU-3999, AS TITLE REFERENCE. NO PLOTTABLE EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELD CREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING  
www.bgtsurveying.com

DATE OF FIELD SURVEY: JULY 1, 2015  
JOB NUMBER: 15-101



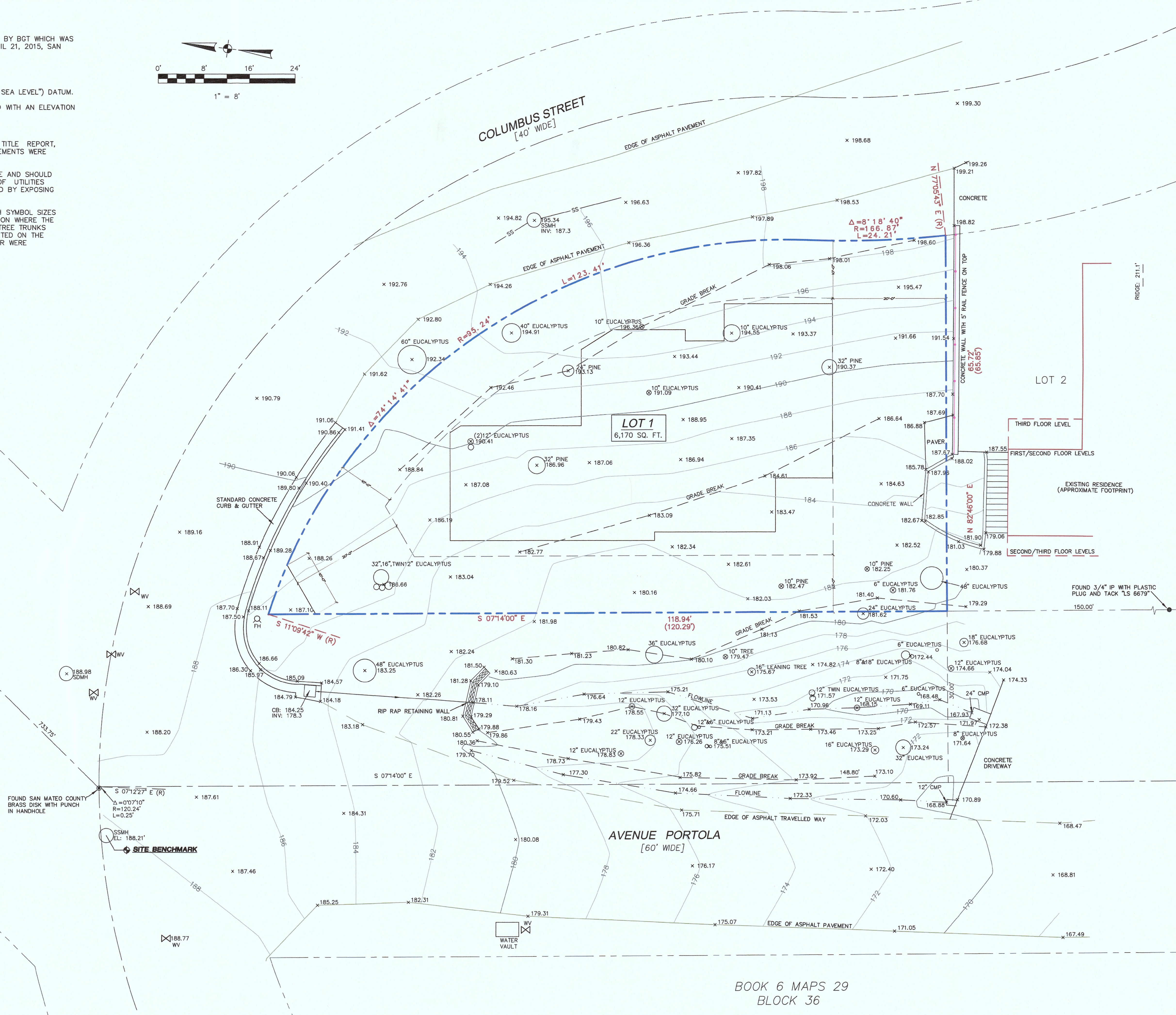
Assessor Parcel Number:  
047-243-010

Prepared For:  
BRUCE HARRIS  
PO BOX 1581  
EL GRANADA, CA 94018

**BOUNDARY AND TOPOGRAPHIC SURVEY**  
 LOT 1, BLOCK 36, "RESUBDIVISION OF SUBDIVISION NOS. 2 AND 3 GRANADA" (BOOK 6 OF MAPS PAGE 29)  
**VACANT LOT, AVE. PORTOLA & COLUMBUS STREET**  
 EL GRANADA, COUNTY OF SAN MATEO, CALIFORNIA

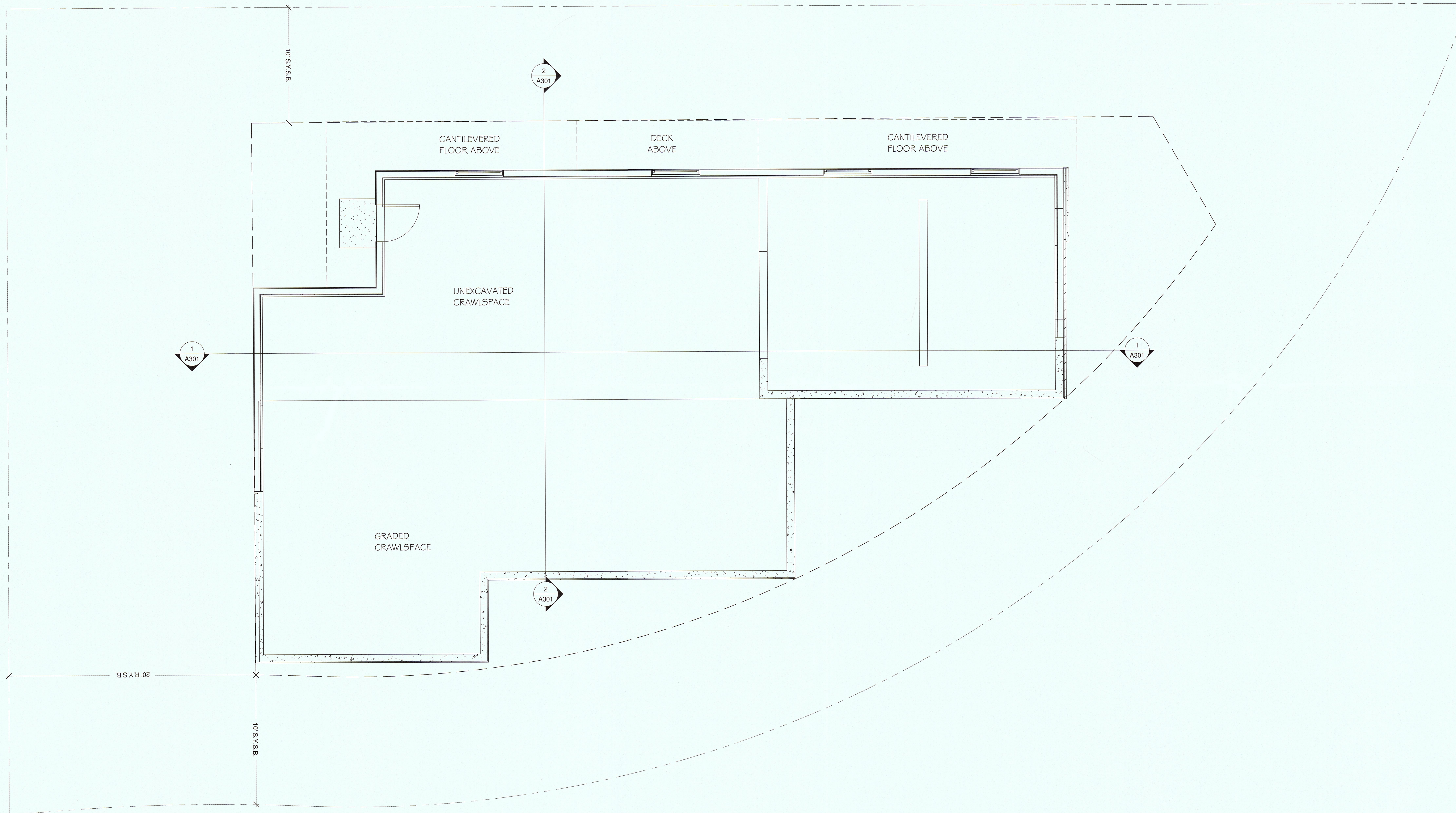
Date: JULY 2015  
Scale: 1" = 8'  
Contour Interval: 2'  
Drawn: LHL, BGT  
Drawing Number:  
**SU-1**  
SHEET 1 OF 1  
Job No. 15-101

- LEGEND**
- AC ASPHALT CONCRETE
  - BW BACK OF WALK
  - CB CATCH BASIN
  - C/L CENTERLINE
  - CMP CORRUGATED METAL PIPE
  - CI CAST IRON PIPE
  - CO CLEAN OUT BOX
  - CP SURVEY CONTROL POINT
  - CPP CORRUGATED PLASTIC PIPE
  - CTV CABLE TELEVISION LINE
  - DI DROP INLET
  - EM ELECTRIC METER
  - EV ELECTRIC VAULT
  - FF FINISHED FLOOR
  - FL FLOWLINE
  - FH FIRE HYDRANT
  - GM GAS METER
  - GRD GROUND
  - GUY GUY ANCHOR
  - GV GAS VALVE
  - HCR HANDICAP RAMP
  - HVE HIGH-VOLT ELECTRIC
  - INV. INVERT
  - IP IRON PIPE
  - JP JOINT POLE
  - KV KILOVOLT
  - LAT. LATERAL
  - LG LIP OF GUTTER
  - MH (TYPE UNKNOWN)
  - MON-MON MONUMENT TO MONUMENT DISTANCE
  - PBV PACBELL/SBC VAULT
  - PGE PG&E VAULT
  - PIV POST INDICATOR VALVE
  - PP POWER POLE
  - SDMH STORM DRAIN MANHOLE
  - SLV STREET LIGHT
  - SLB STREET LIGHT BOX
  - SLV STREET LIGHT VAULT
  - SSMH SANITARY SEWER MANHOLE
  - SSV SANITARY SEWER VAULT
  - TBC TOP BACK OF CURB
  - TBM TEMPORARY BENCHMARK
  - TS TRAFFIC SIGNAL
  - TSB TRAFFIC SIGNAL BOX
  - UNK UNKNOWN TYPE
  - VCP VITRIFIED CLAY PIPE
  - WBF WATER BACK FLOW VALVE
  - WM WATER METER BOX
  - WV WATER VALVE
  - CTV- CABLE TELEVISION LINE
  - E- ELECTRICAL LINE
  - G- GAS LINE
  - OH- OVERHEAD LINE
  - SD- STORM DRAIN LINE
  - SS- SANITARY SEWER LINE
  - T- TELEPHONE LINE
  - W- WATER LINE



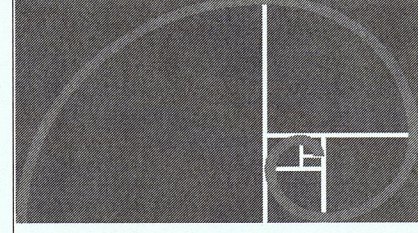
BOOK 6 MAPS 29  
BLOCK 36





① Level 1 - Foundation  
1/4" = 1'-0"

REVISIONS



EDWARD C. LOVE, ARCHITECT

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Architect  
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HALF MOON BAY, CA 94019  
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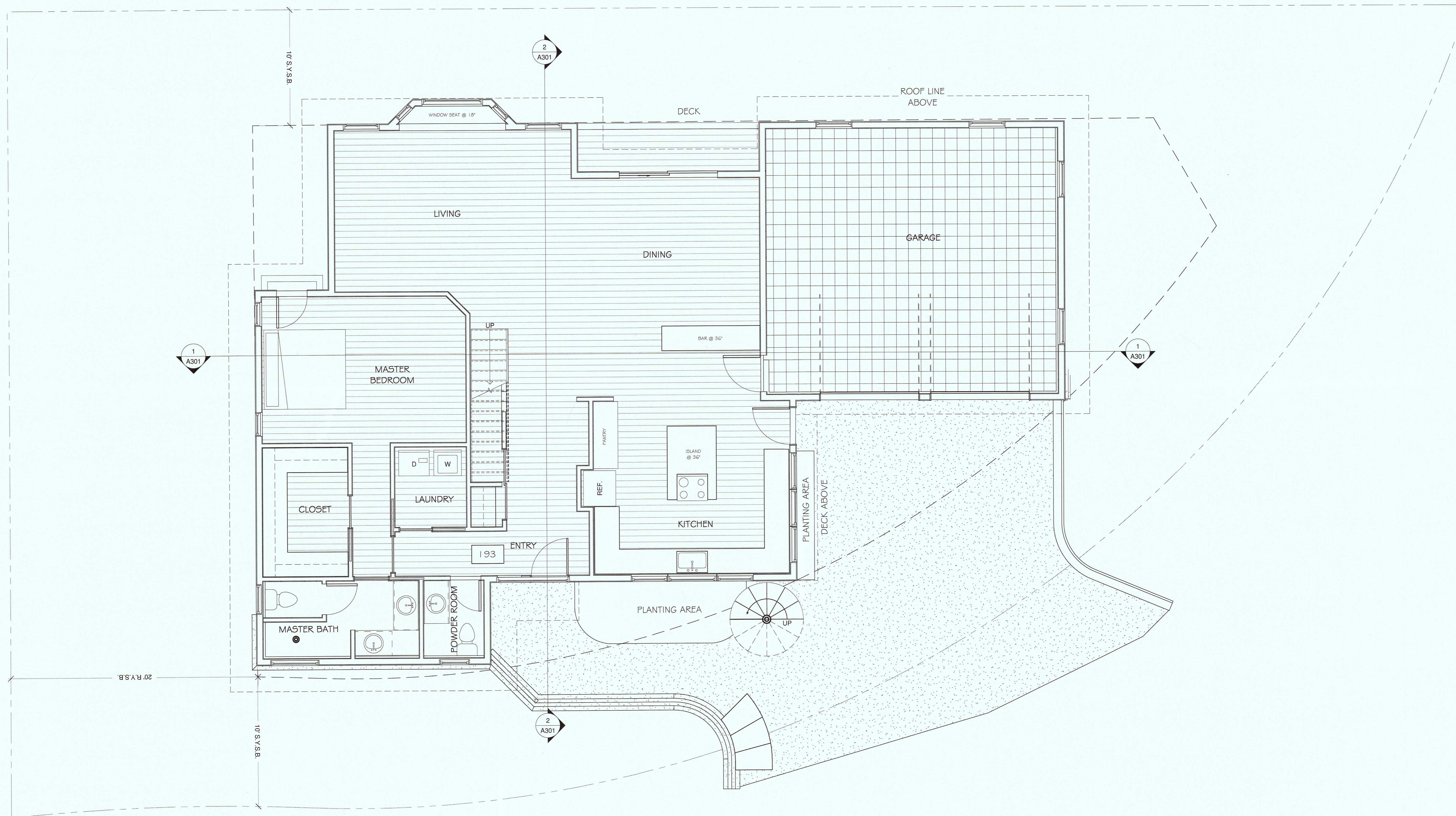
FOUNDATION



DATE: 12/01/16  
SCALE: 1/4" = 1'-0"  
DRAWN: GMH  
JOB: CARKEEK-HARRIS

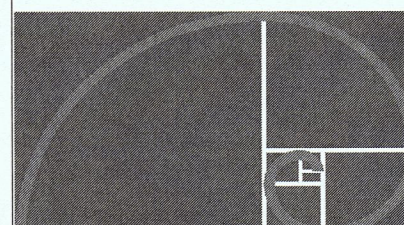
SHEET:  
**A101**  
OF SHEETS

ALL DRAWINGS, SPECIFICATIONS, AND COPIES THEREOF, PREPARED AND/OR SUPPLIED BY THE ARCHITECT, SHALL REMAIN HIS PROPERTY. THEY ARE TO BE USED ONLY WITH RESPECT TO THIS PROJECT AND ARE NOT TO BE USED ON ANY OTHER PROJECT. WITH THE EXCEPTION OF ONE CONTRACT SET FOR EACH PARTY TO THE CONTRACT, SUCH DOCUMENTS ARE TO BE RETURNED OR SUITABLY ACCOUNTED FOR UPON REQUEST OF THE ARCHITECT AT THE COMPLETION OF THE WORK. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUED AS PUBLICATION IN THE DEROGATION OF THE ARCHITECT'S COMMON LAW COPYRIGHT OR OTHER RESERVED RIGHTS.



1 First Floor  
1/4" = 1'-0"

REVISIONS

EDWARD C. LOVE, ARCHITECT

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New Home for:  
Carkeek-Harris  
Ave Portola & Columbus St  
Montara, CA

FIRST FLOOR



DATE: 12/01/16

SCALE: 1/4" = 1'-0"

DRAWN: GMH

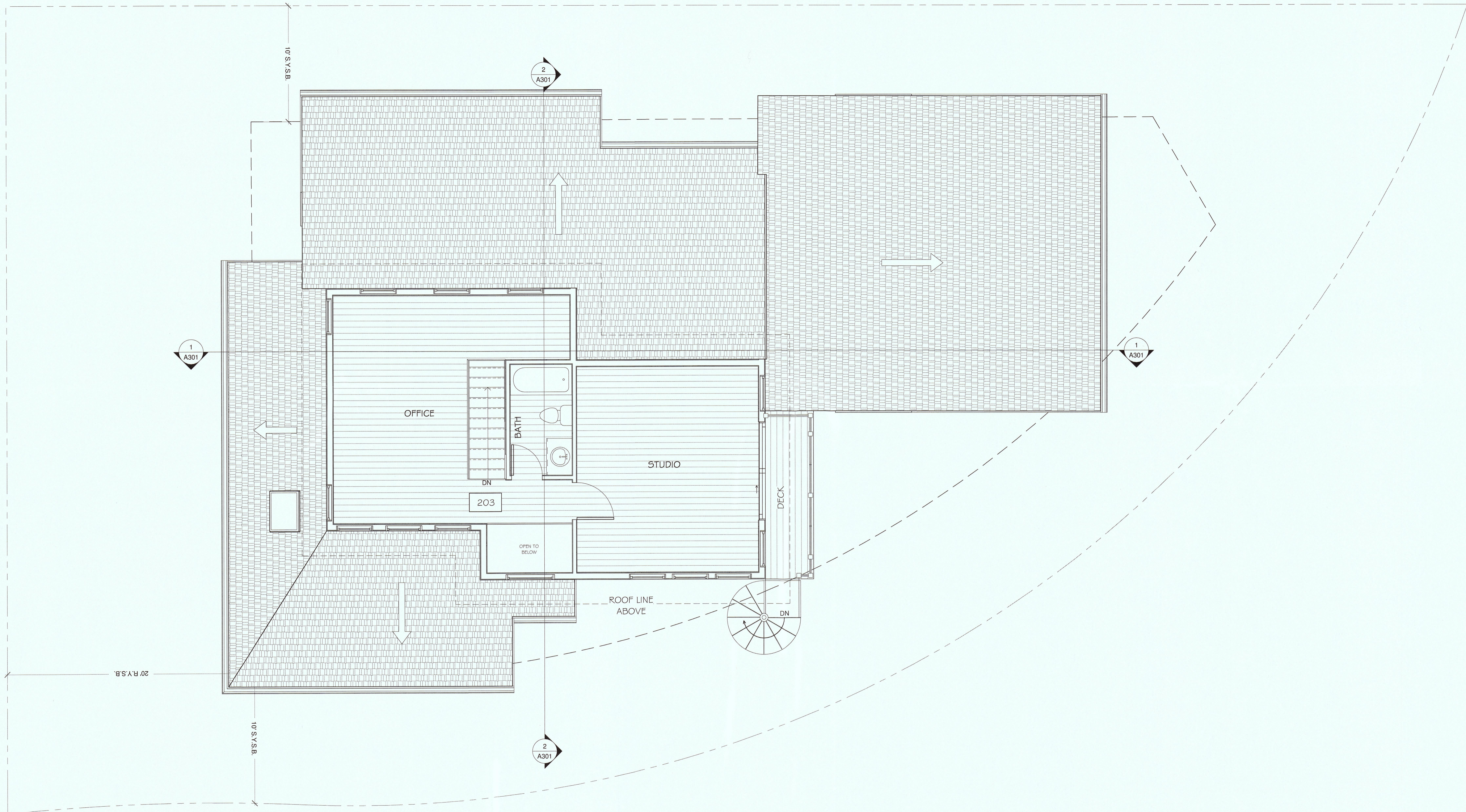
JOB: CARKEEK-HARRIS

SHEET:

A102

OF SHEETS

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1 Second Floor  
1/4" = 1'-0"

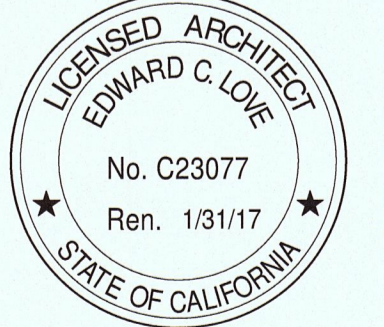
REVISIONS

EDWARD C. LOVE, ARCHITECT

Edward C. Love  
Architect  
720 MILL STREET  
HALF MOON BAY, CA 94019  
(650) 728-7615  
edwardclovearcht@gmail.com

New Home for:  
Carkeek-Harris  
Ave Portola & Columbus St  
Montara, CA

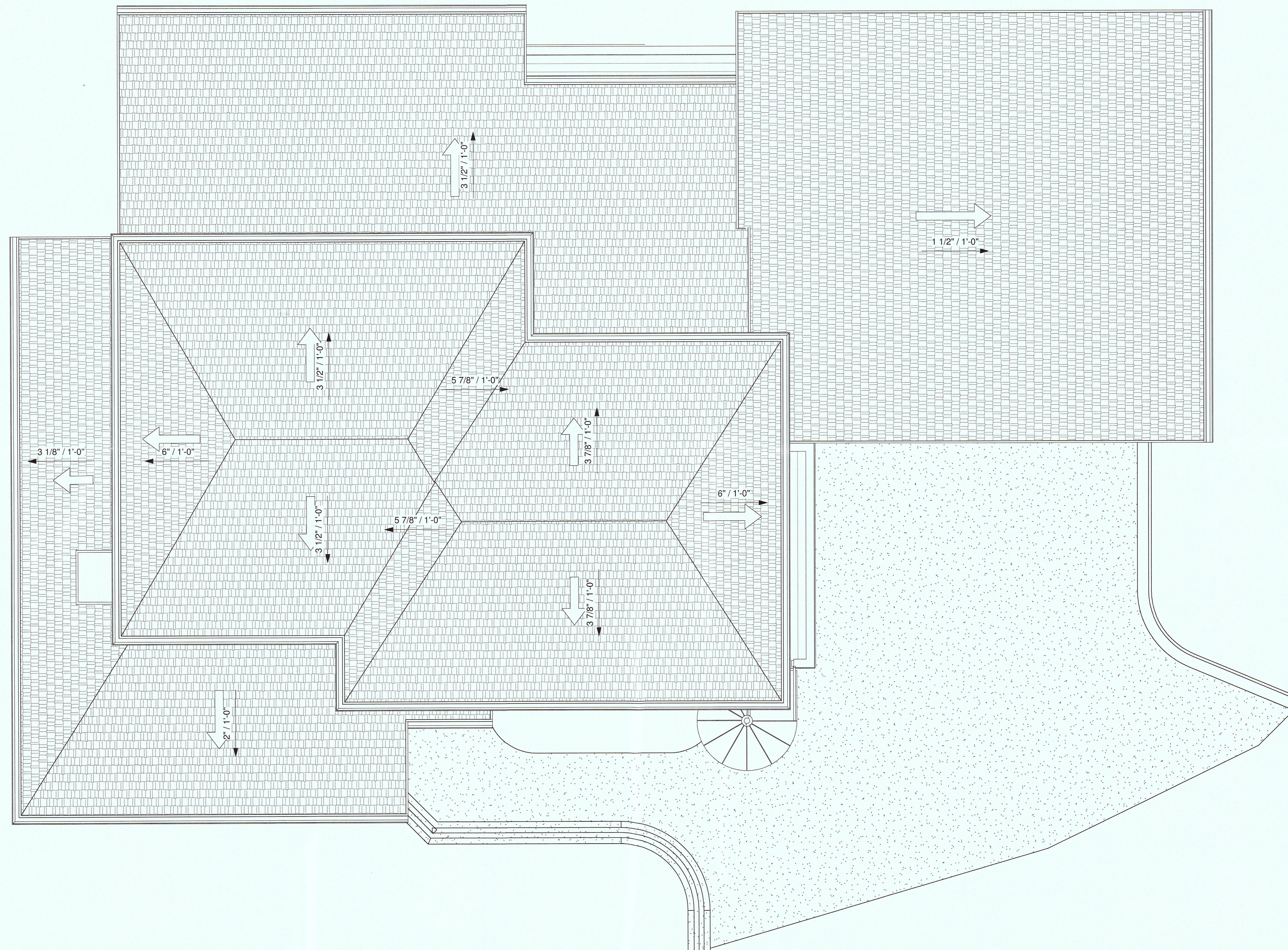
SECOND FLOOR



DATE: 12/01/16  
SCALE: 1/4" = 1'-0"  
DRAWN: GMH  
JOB: CARKEEK-HARRIS

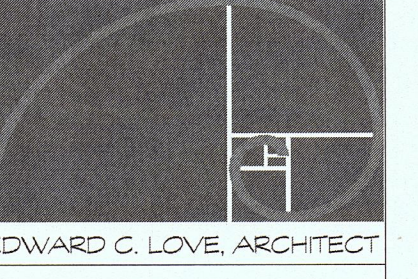
SHEET:  
**A103**  
OF SHEETS

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1 ROOF PLAN  
1/4" = 1'-0"

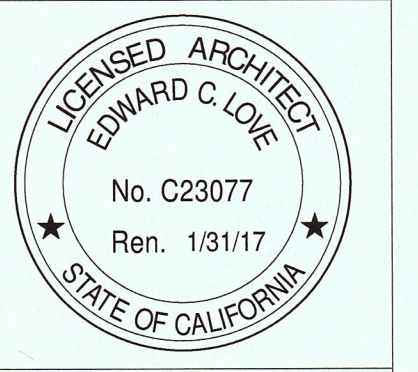
REVISIONS



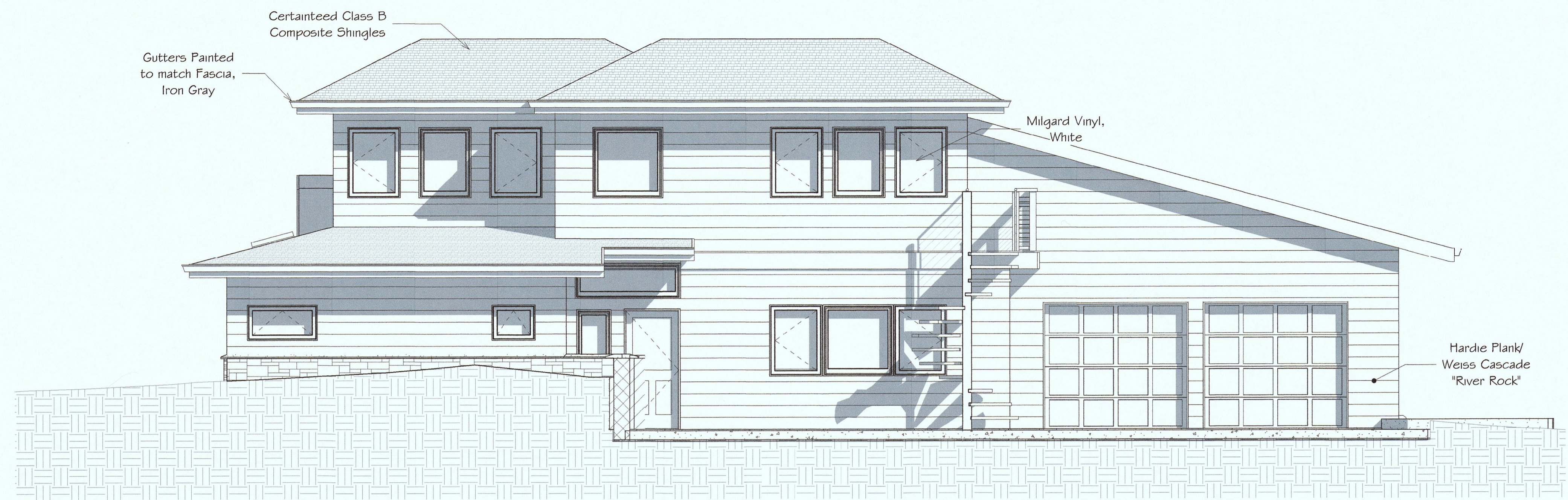
EDWARD C. LOVE, ARCHITECT  
Edward C. Love  
Architect  
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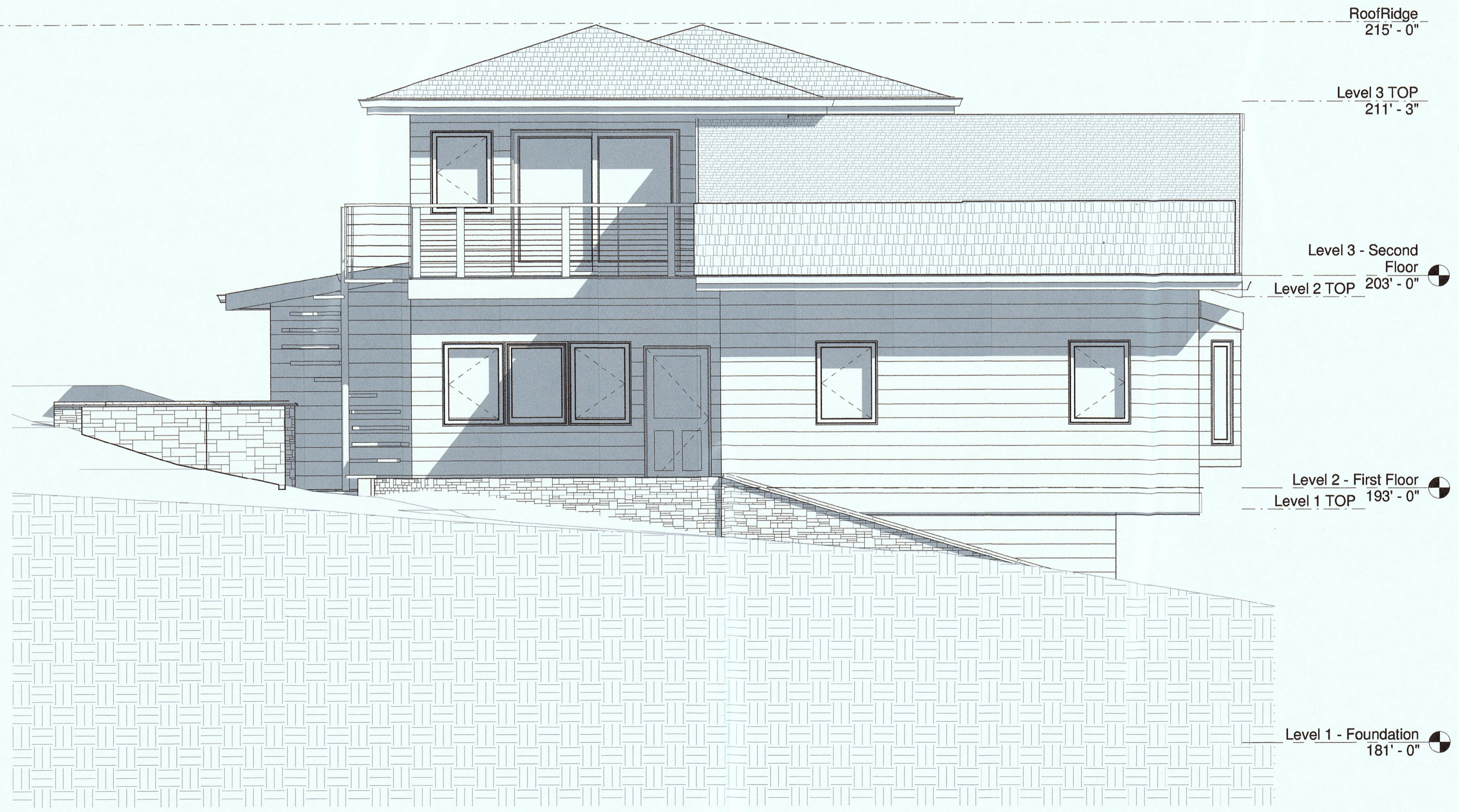
ROOF PLAN



DATE: 02/01/17  
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DRAWN: GMH  
JOB: CARKEEK-HARRIS  
SHEET:  
**A104**  
OF SHEETS

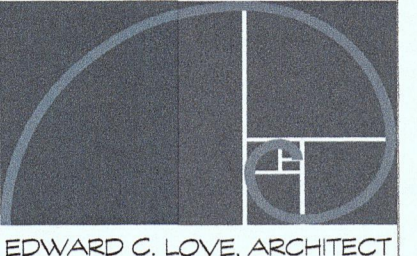


① East  
1/4" = 1'-0"



② North  
1/4" = 1'-0"

REVISIONS

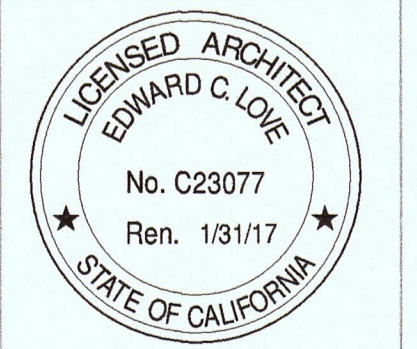


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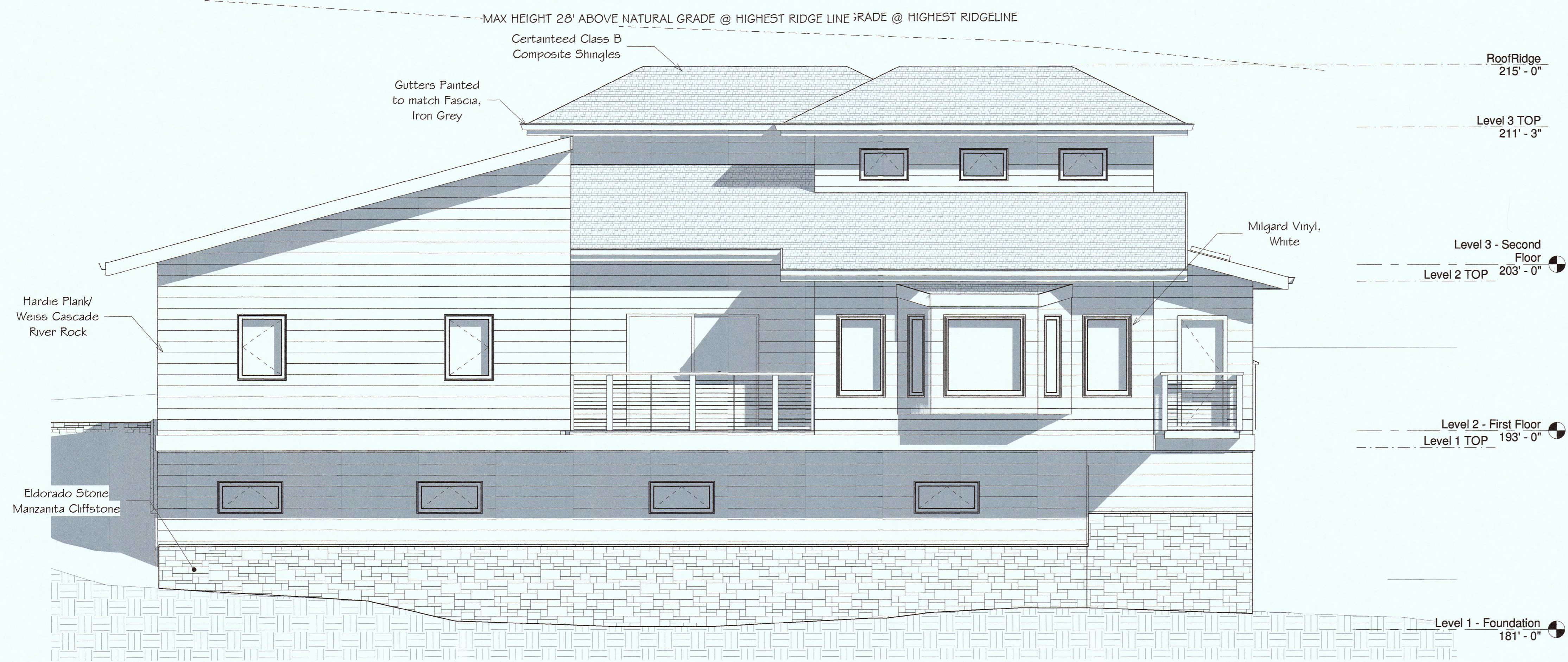
EAST & NORTH  
ELEVATIONS



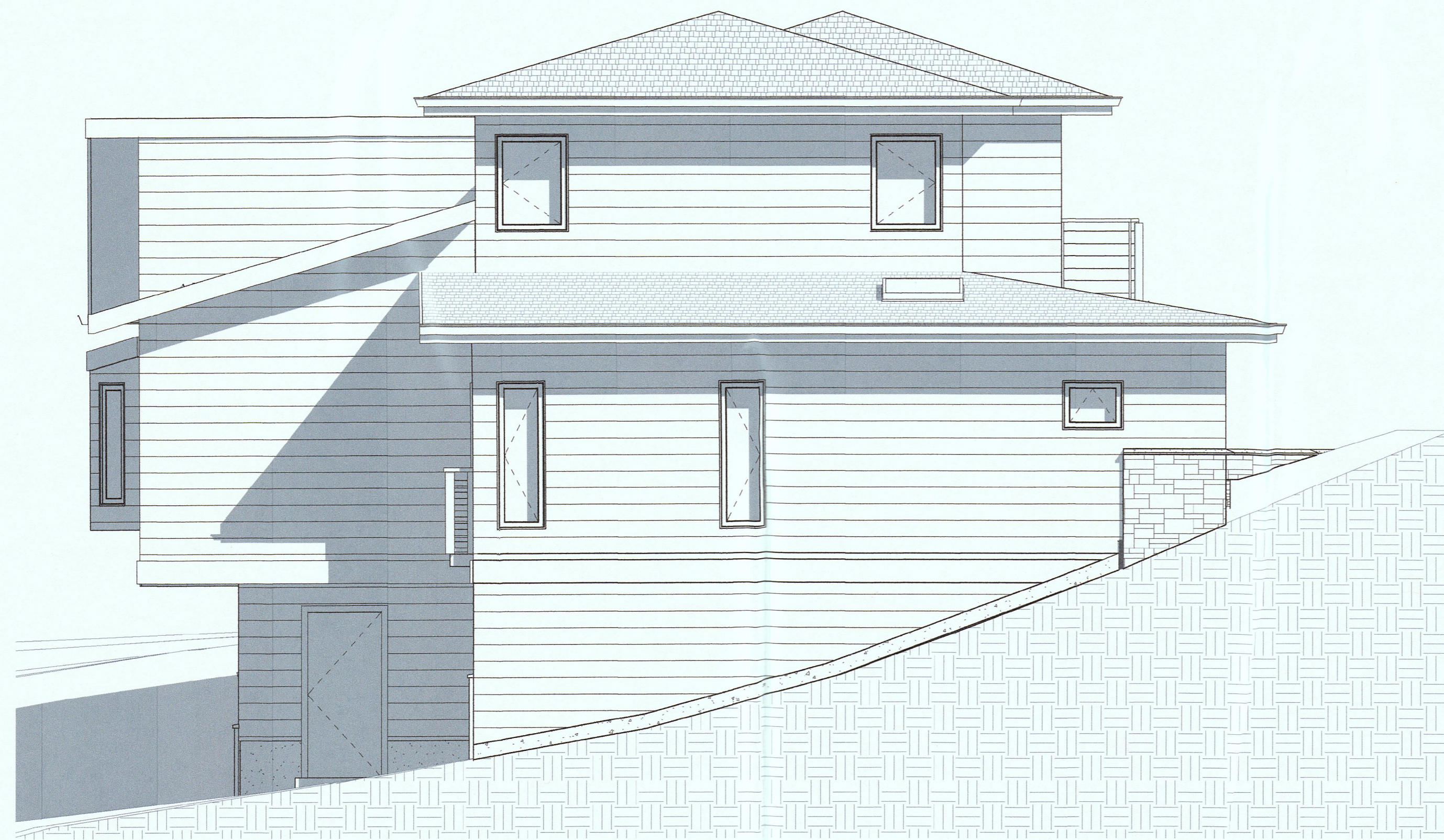
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SCALE: 1/4" = 1'-0"  
DRAWN: GMH  
JOB: CARKEEK-HARRIS

SHEET:  
**A201**  
OF SHEETS

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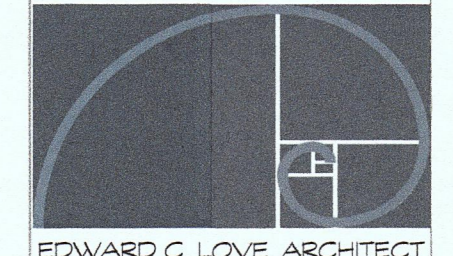


③ West  
1/4" = 1'-0"



④ South  
1/4" = 1'-0"

REVISIONS



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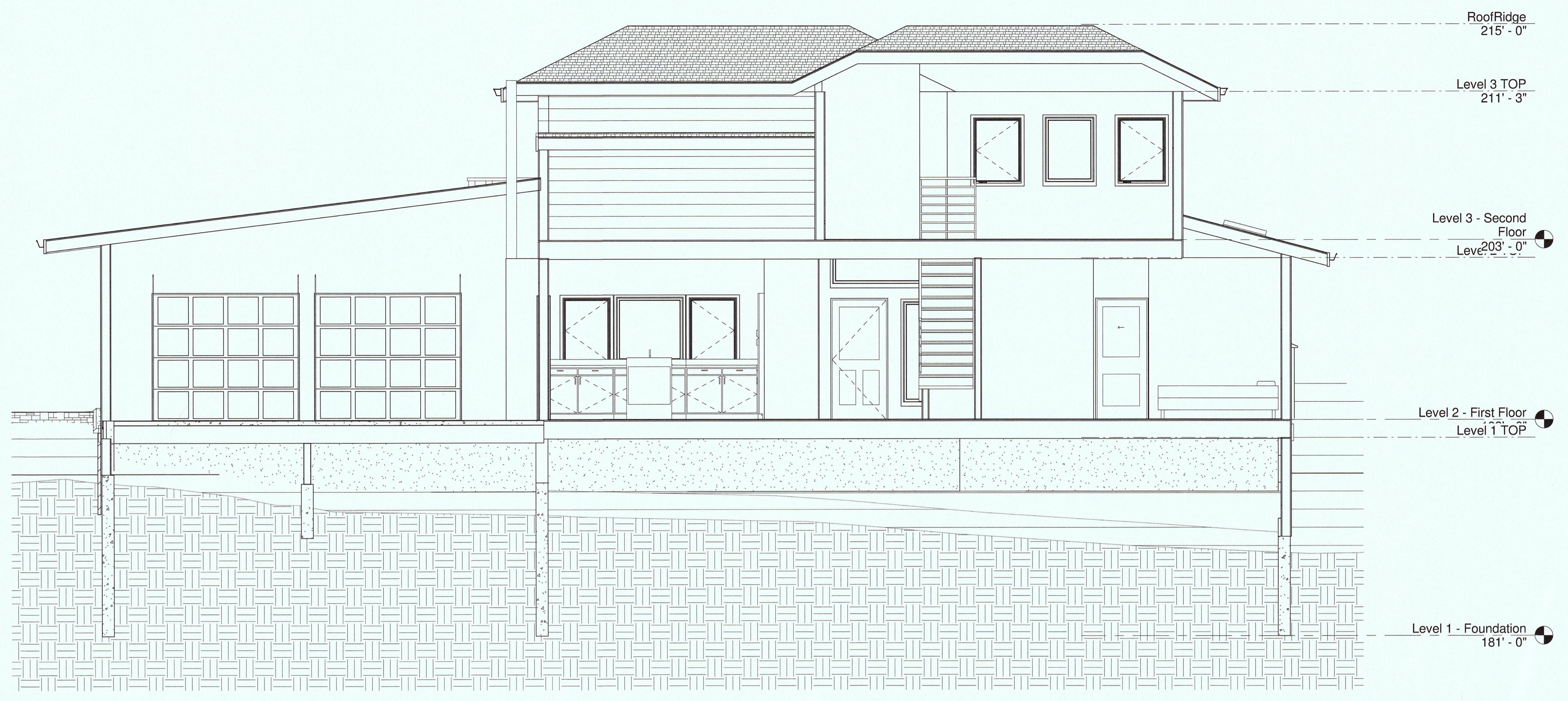
New Home for:  
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El Granada, CA

WEST & SOUTH  
ELEVATIONS

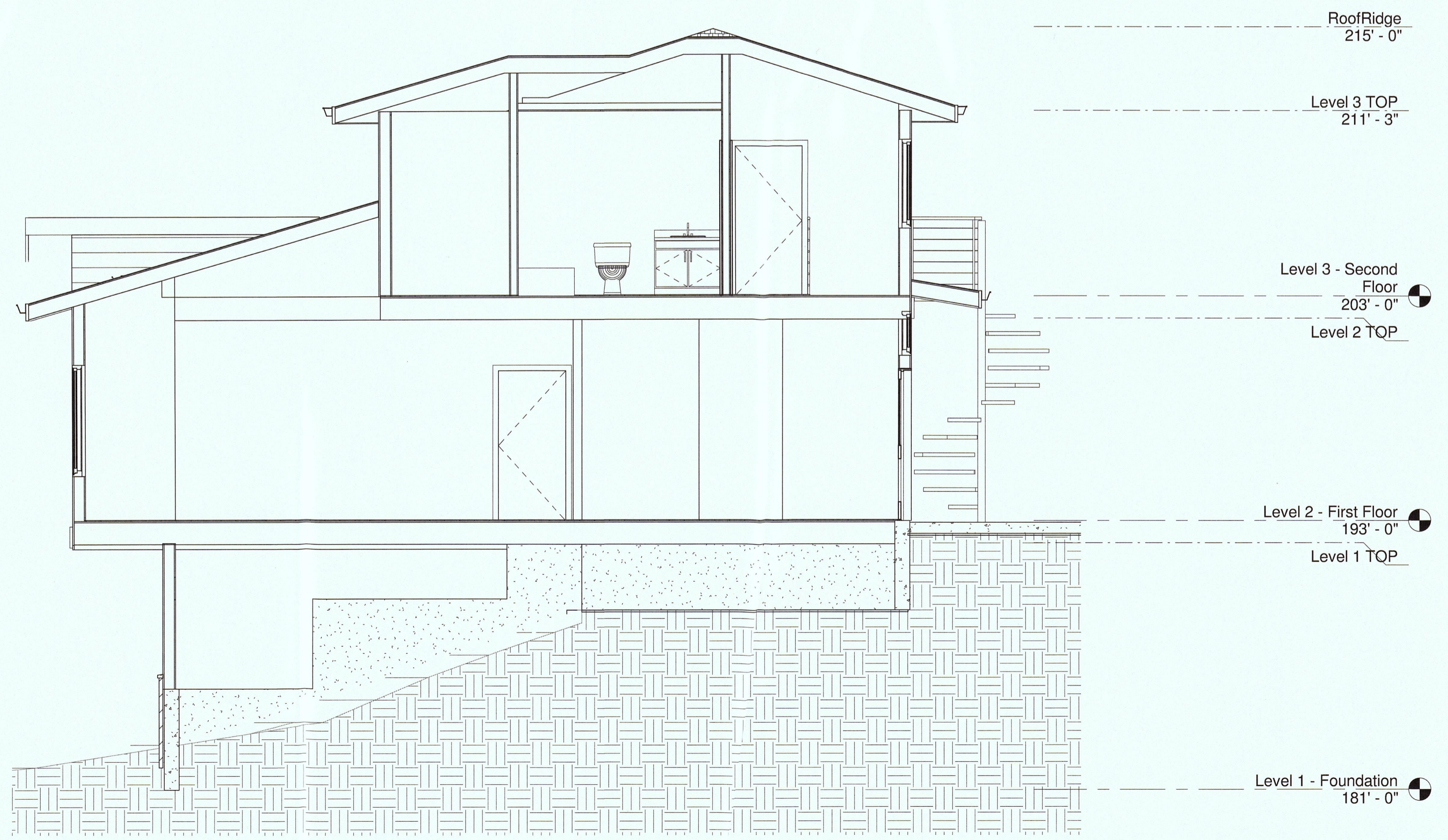


DATE: 04-05-165  
SCALE: 1/4" = 1'-0"  
DRAWN: GMH/or  
JOB: CARKEEK-HARRIS

SHEET:  
**A202**  
OF SHEETS



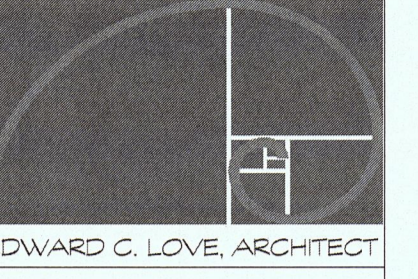
① NS-section01  
1/4" = 1'-0"



② EW-section0  
1/4" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION

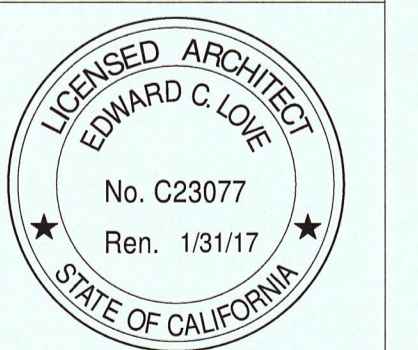


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Montara, CA

SECTION VIEWS



DATE: 04/07/16

SCALE: 1/4" = 1'-0"

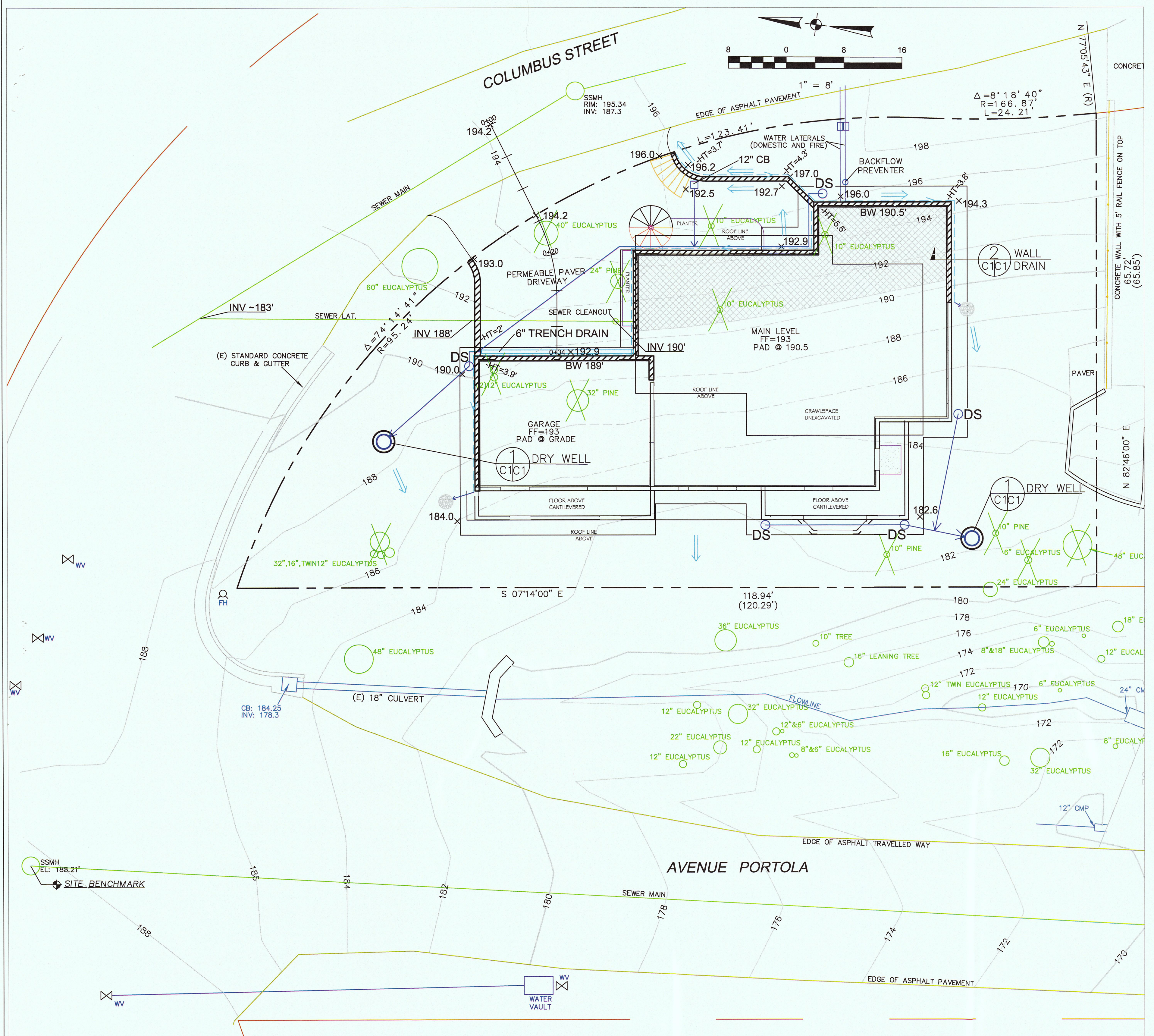
DRAWN: GMH

JOB: CARKEEK-HARRIS

SHEET:

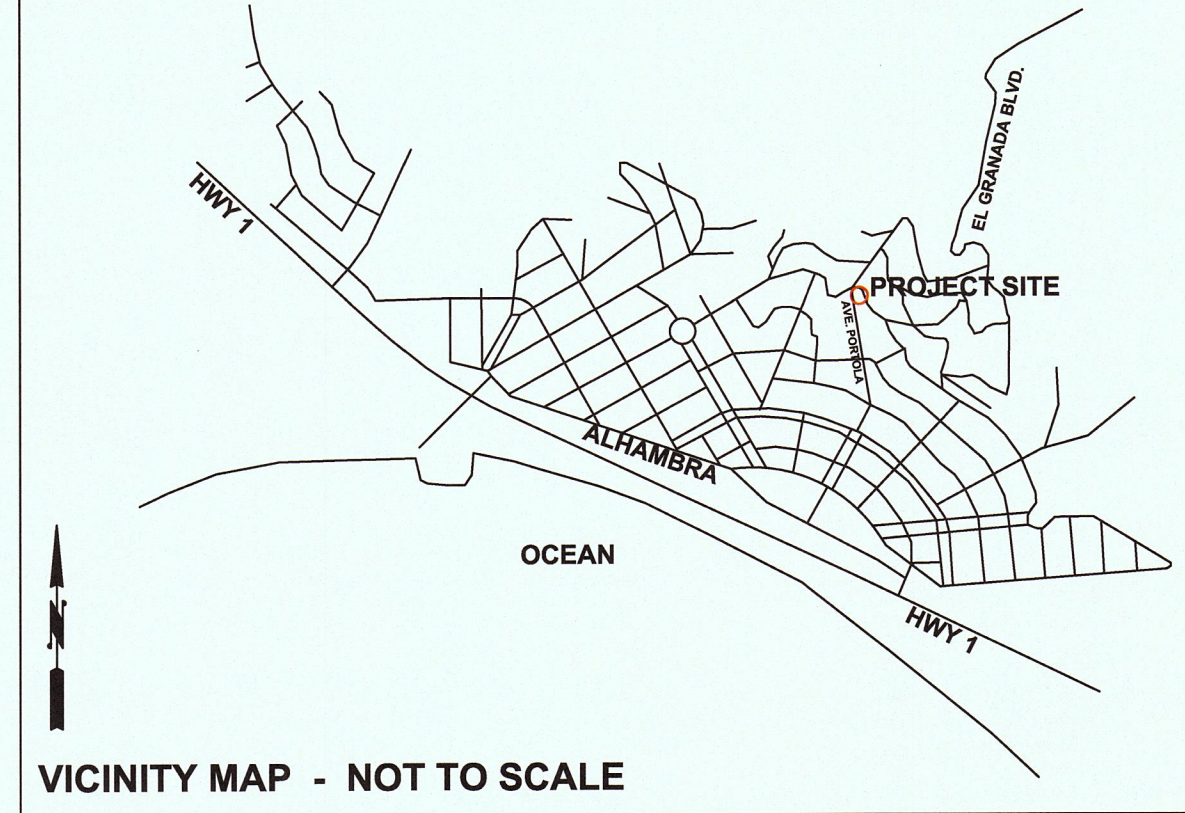
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OF SHEETS



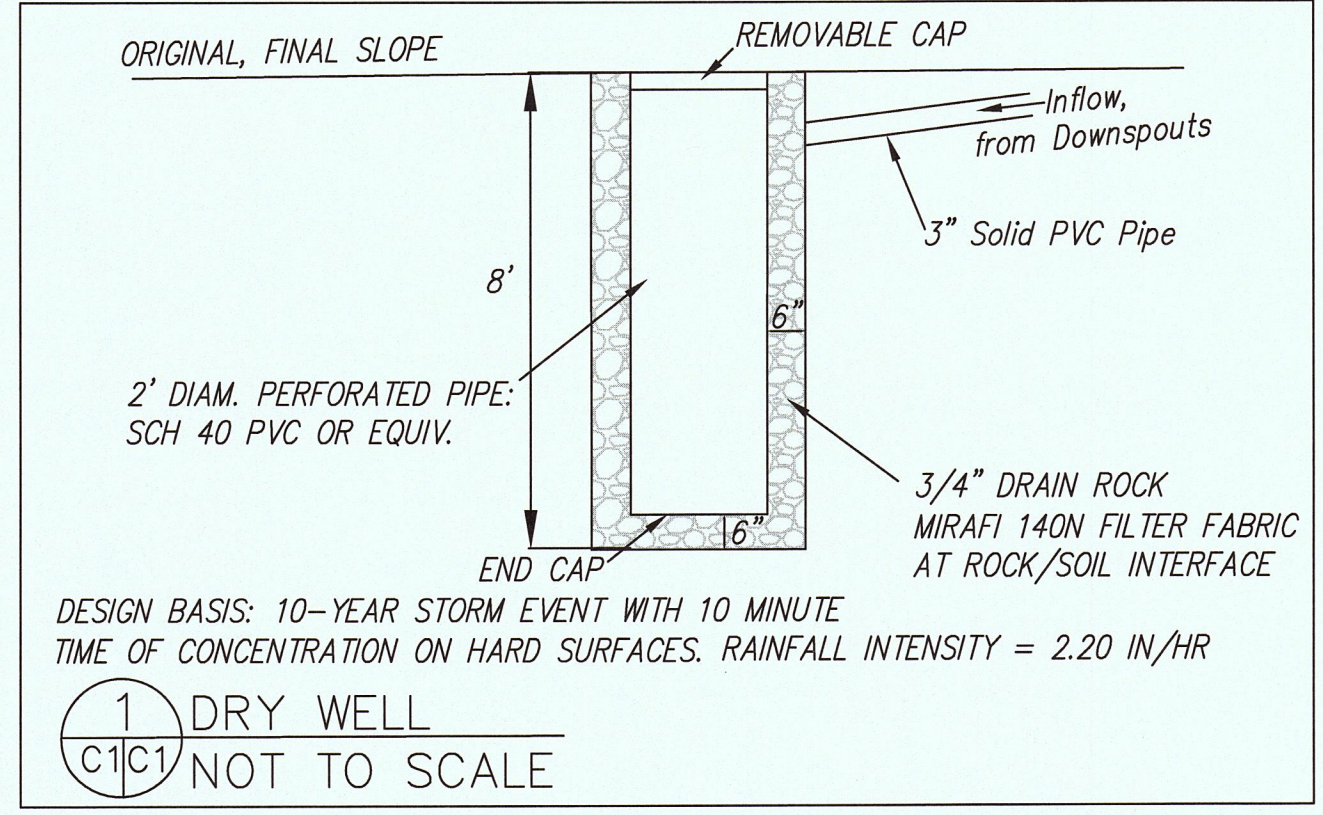
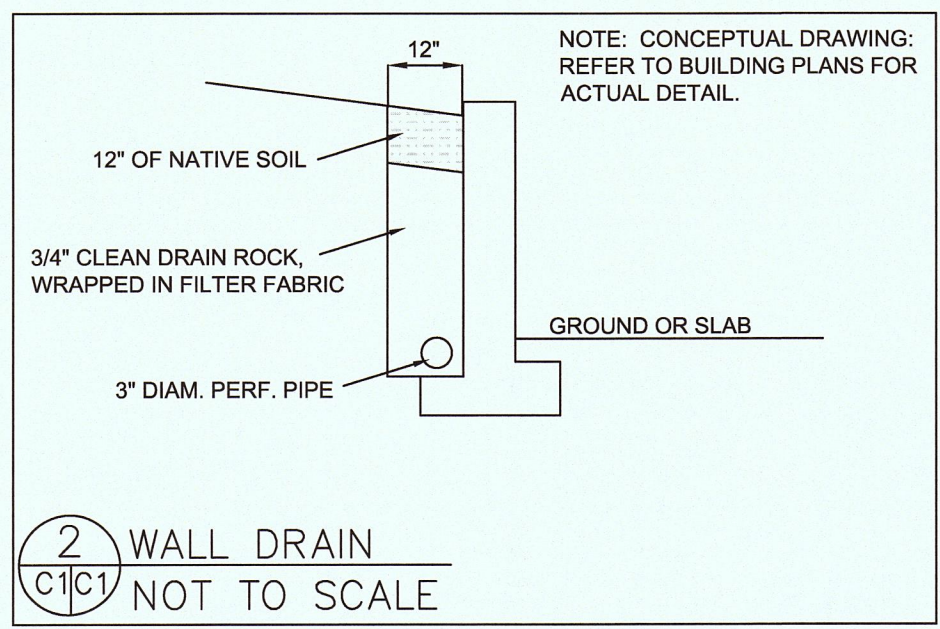
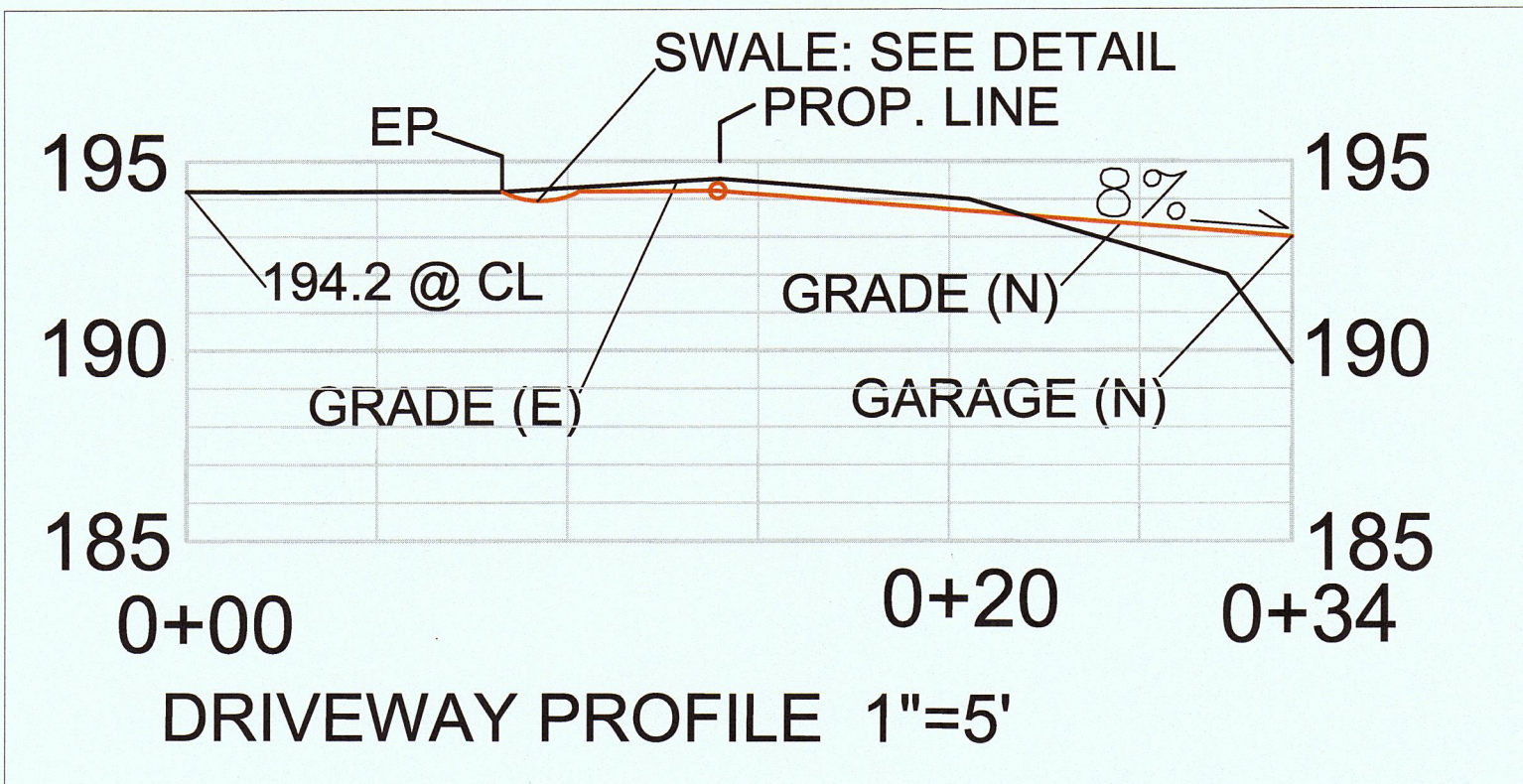
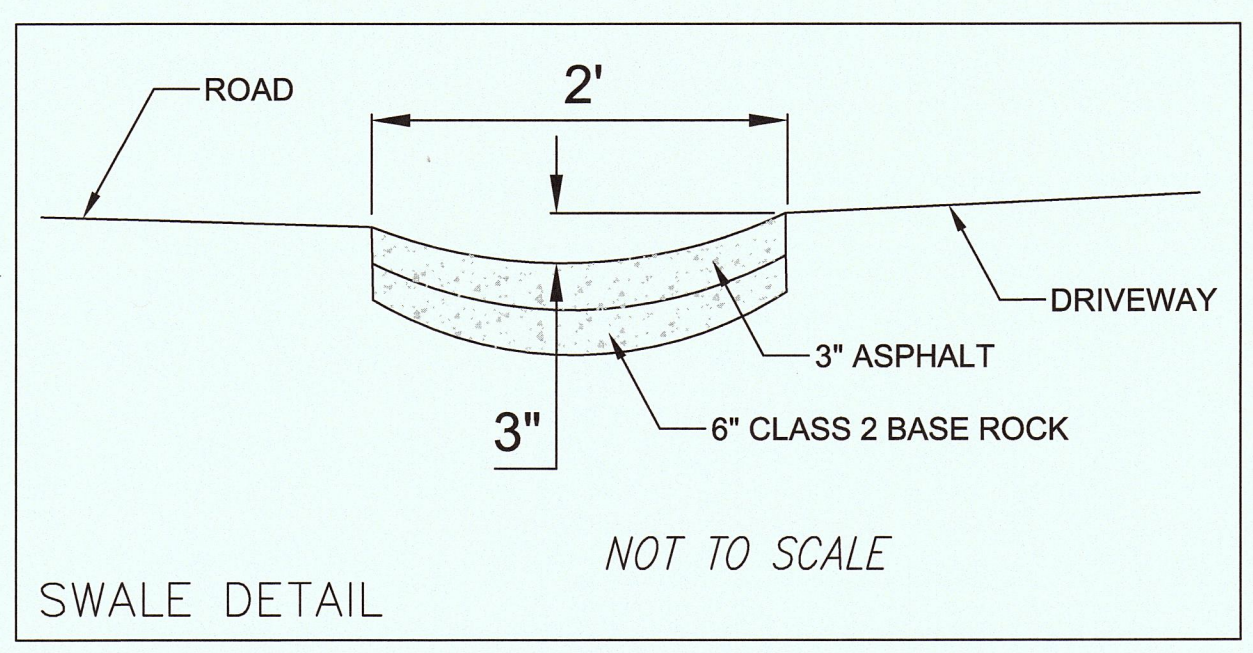
- ### LEGEND
- EXISTING CONTOURS
  - 182.6 PROPOSED SPOT ELEVATION
  - DS DOWNSPOUT
  - DIRECTION OF SURFACE DRAINAGE
  - 3" SOLID PLASTIC DRAIN PIPE, SDR 35 @ 1% MINIMUM SLOPE.
  - 3" PERFORATED PLASTIC DRAIN PIPE, SDR 35 @ 1% MINIMUM SLOPE.
  - ENERGY DISSIPATER: 2-FT DIAMETER, 4-INCHES DEEP, FILLED WITH 2-4 INCH COBBLES
  - PROPOSED RETAINING WALL
  - CUT PAD FOR CRAWL SPACE
  - 10" PINE TREE TO BE REMOVED

- ### GENERAL NOTES
- PLANS PREPARED AT THE REQUEST OF: SUSAN CARKEEK, OWNER
  - SURVEY AND TOPOGRAPHY BY BGT LAND SURVEYING, SURVEYED IN JULY, 2015.
  - ELEVATION DATUM ASSUMED.
  - THIS IS NOT A BOUNDARY SURVEY.
- ### GRADING NOTES
- CUT VOLUME: 85 CY  
FILL VOLUME: 25 CY  
TOTAL: 110 CY CUT/FILL
- ABOVE VOLUMES ARE APPROXIMATE.
  - MAXIMUM GRADIENT OF ANY MODIFIED SLOPES SHALL BE 2:1 (H:V).
  - ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
  - ALL TRENCHES IN PROPOSED LANDSCAPE AREAS SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.



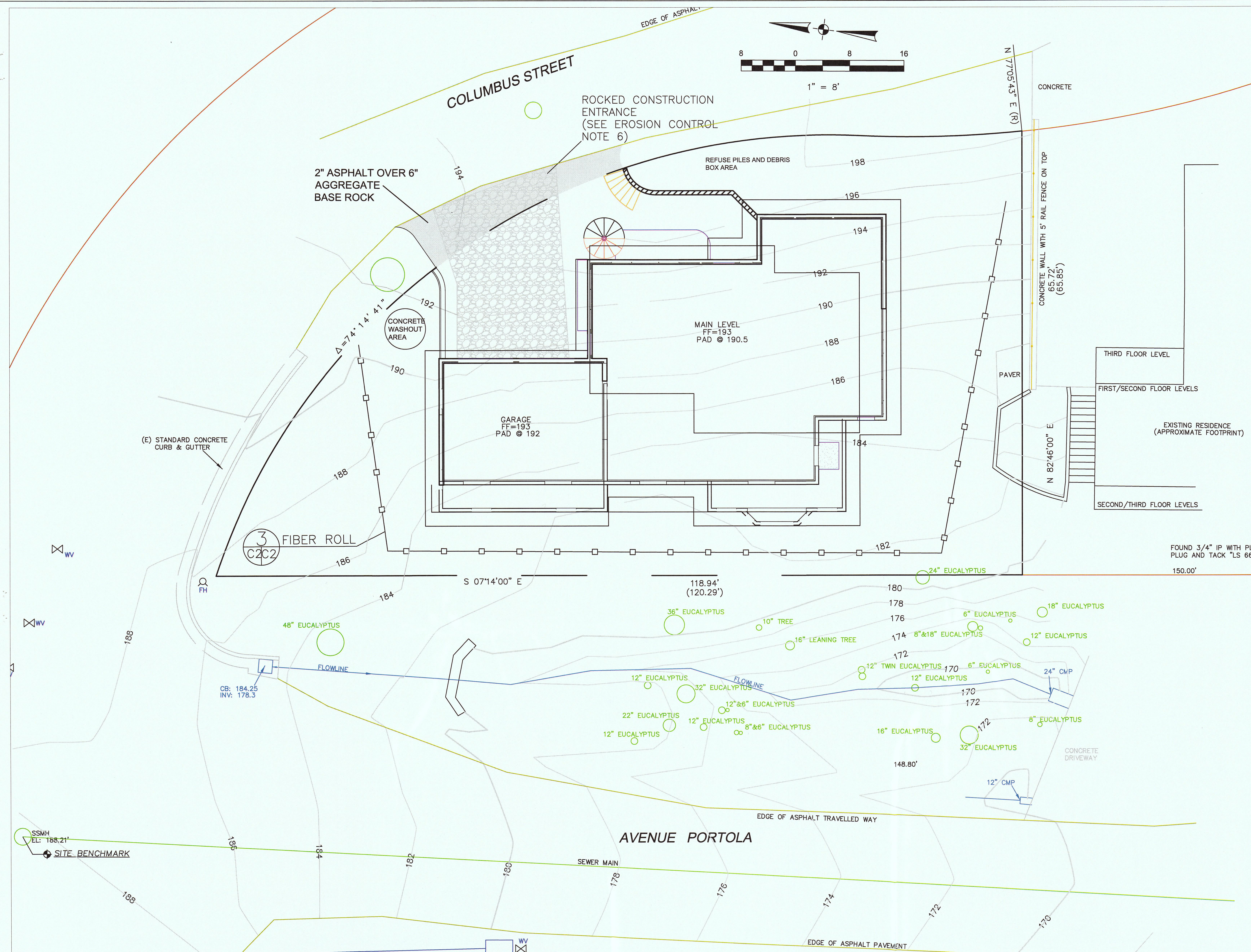
- ### DRAINAGE NOTES
- DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF AND DRIVEWAY RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS.
  - ALL ROOF DRAIN LINES SHALL LEAD TO DRY WELLS SHOWN.
  - ALL DRAINAGE PIPES SHALL BE 3" DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.
  - IT IS THE RESPONSIBILITY OF THE OWNER TO MAINTAIN THE DRAINAGE SYSTEM. THE DRAINS PIPES AND DRY WELLS SHALL BE CHECKED EVERY FALL AND CLEARED OF DEBRIS.
- ### TRAFFIC CONTROL NOTES
- CONTRACTOR AND WORKERS SHALL PARK ALONG COLUMBUS STREET AND AVENUE PORTOLA.
  - WHEN TRUCKS PARK IN STREET FOR DELIVERY OF SUPPLIES AND CONCRETE, EVERY EFFORT SHALL BE MADE TO PROVIDE ROOM FOR VEHICLES TO PASS. WORKERS SHALL PROVIDE TRAFFIC CONTROL AT ALL TIMES WHEN ROAD IS PARTIALLY BLOCKED.
  - IF ROAD IS BLOCKED, WORKERS SHALL PROVIDE WRITTEN DIRECTIONS FOR A DETOUR, IF REQUESTED BY A MOTORIST.

- ### SECTION AND DETAIL CONVENTION
- SECTION OR DETAIL IDENTIFICATION: 1
- REFERENCE SHEET No. FROM WHICH SECTION OR DETAIL IS TAKEN: C1C1
- REFERENCE SHEET No. ON WHICH SECTION OR DETAIL IS SHOWN: C1C1



Sigma Prime Geosciences, Inc. SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE RICHMOND, CA 94801 (925) 728-5680 FAX: 728-5680	
DATE: 1-10-17	DRAWN BY: CMK
CHECKED BY: AZG	REV. DATE:
REV. DATE:	REV. DATE:
REV. DATE:	REV. DATE:
<b>GRADING AND DRAINAGE PLAN</b>	
CARKEEK PROPERTY COLUMBUS STREET EL GRANADA	
SHEET C-1	





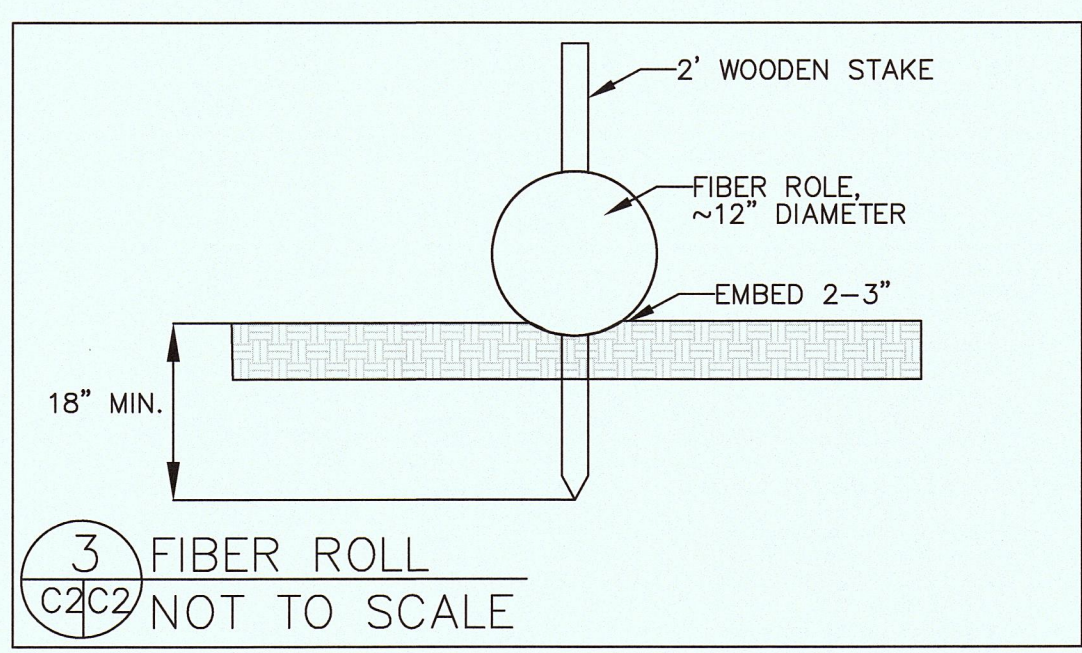
**GENERAL EROSION AND SEDIMENT CONTROL NOTES**

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site
- Use of plastic sheeting between October 1st and April 30th is not acceptable, unless for use on stockpiles where the stockpile is also protected with fiber rolls containing the base of the stockpile.
- The tree protection shall be in place before any grading, excavating or grubbing is started.



**EROSION CONTROL NOTES**

1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
6. ROCKED CONSTRUCTION ENTRANCE SHALL BE 27 FEET LONG BY 16 FEET WIDE AND CONFORM TO THE FOLLOWING:
  - A. THE MATERIAL FOR THE PAD SHALL BE 3 TO 6 INCH STONE.
  - B. PAD SHALL BE NOT LESS THAN 12" THICK.
  - C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
  - D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
7. CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE).



**EROSION CONTROL POINT OF CONTACT**

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: SUSAN CARKEEK  
 TITLE/QUALIFICATION: OWNER  
 PHONE: 650-786-0943  
 PHONE:  
 E-MAIL: syonthewall@coastside.net

- USE OF PLASTIC SHEETING BETWEEN OCTOBER 1st AND APRIL 30th IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
- THE TREE PROTECTION SHALL BE IN PLACE BEFORE ANY GRADING, EXCAVATING, OR GRUBBING IS STARTED.

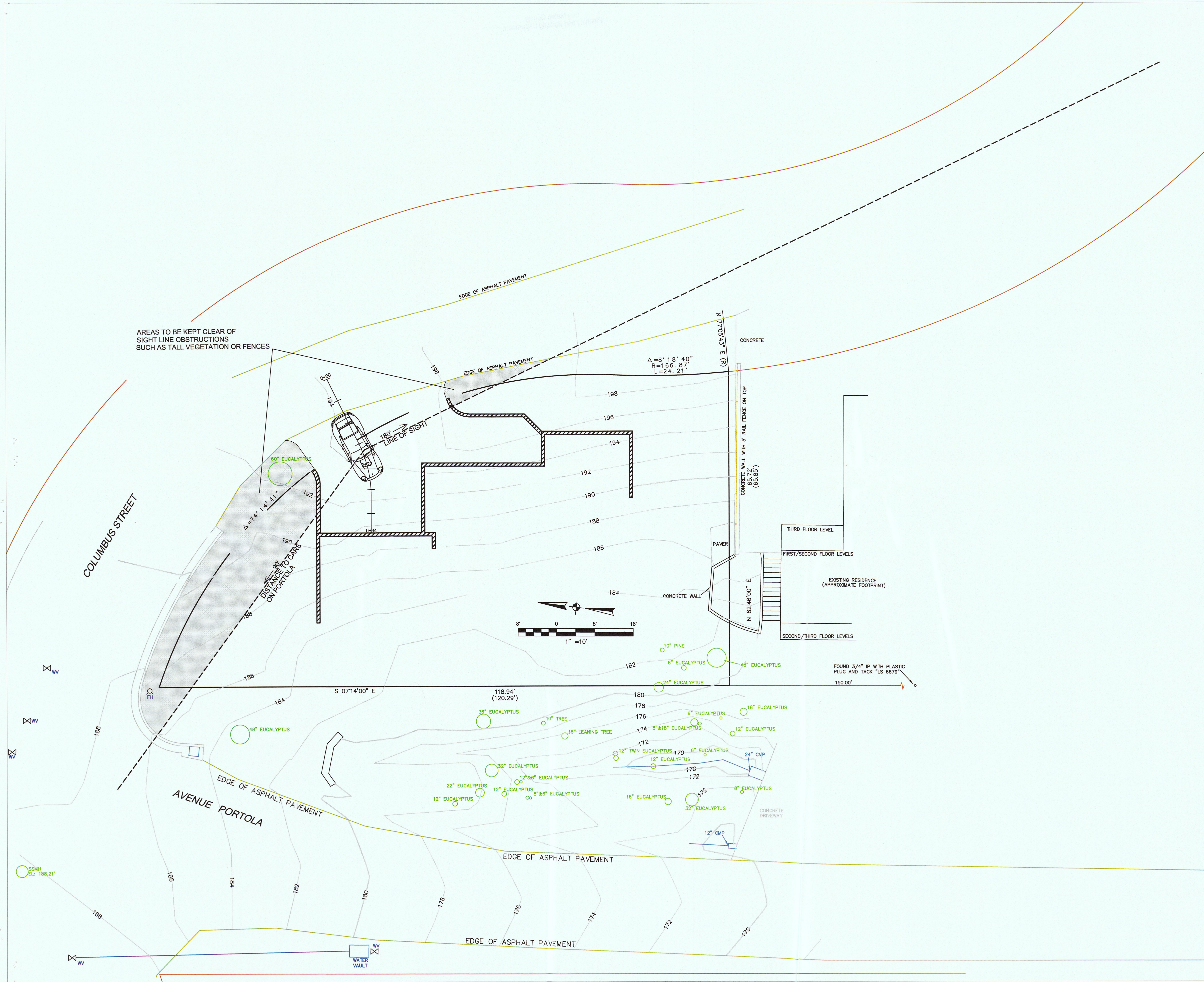
**EROSION CONTROL PLAN**

DATE: 1-10-17  
 DRAWN BY: CMK  
 CHECKED BY: AZG  
 REV. DATE:  
 REV. DATE:  
 REV. DATE:

**Sigma Prime Geosciences, Inc.**  
 SIGMA PRIME GEOSCIENCES, INC.  
 332 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 (650) 728-5590  
 FAX: 728-5593

**CARKEEK PROPERTY**  
 COLUMBUS STREET  
 EL GRANADA

**SHEET**  
 C-2



AREAS TO BE KEPT CLEAR OF SIGHT LINE OBSTRUCTIONS SUCH AS TALL VEGETATION OR FENCES

NOTES

1. SHADED AREAS SHALL BE KEPT CLEAR OF ANY VEGETATION OR STRUCTURES THAT WOULD BLOCK SIGHT LINES.
2. SIGHT LINE TO INTERSECTION OF AVENUE PORTOLA IS SUFFICIENT. CARS TURNING ONTO COLUMBUS NEED TO SLOW TO SAFELY NEGOTIATE SHARP RIGHT TURN.



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DATE: 1-10-17	REV. DATE:
DRAWN BY: CMK	REV. DATE:
CHECKED BY: AZG	REV. DATE:

**SIGHT LINES**  
CARKEEK PROPERTY  
COLUMBUS STREET  
EL GRANADA