

February 15, 2017

Eric Keng
616 Ramona Street, Suite 21
Palo Alto, CA 94301

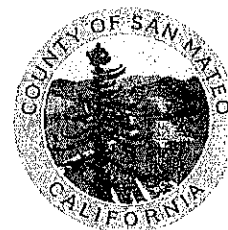
Dear Mr. Keng:

SUBJECT: Coastside Design Review Recommendation
640 Coronado Street, El Granada
APN 047-281-160; County File No. PLN 2016-00141

At its meeting of February 9, 2017, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for a design review recommendation to allow construction of a two-story, 2,718 sq. ft. single-family residence, including a 416 sq. ft. attached garage on an undeveloped, 6,705 sq. ft. legal parcel (Parcel legality status via a Lot Line Adjustment/Merger PLN 2001-00287). No trees would be removed and only minor grading is proposed. The project is part of a Staff-Level Coastal Development Permit (CDP) and Variance. A Variance is requested for a 10-ft. rear setback, where 20 feet is the minimum required, due to the establishment of a "clear view" easement (with a 5-ft. height restriction) on the property. The CDP is not appealable to the California Coastal Commission.

The CDRC was unable to make the findings for a design review recommendation of approval based on certain design deficiencies. In order to resolve these deficiencies in the project's design, a more thorough review of the "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" manual is required. As such, requirements from the CDRC for project redesign are as follows:

1. Reduce the apparent mass, bulk, height, and scale of the house through building dimensions, shape and form, facade articulation, and architectural details that appear proportional and complementary to other homes in the neighborhood.
2. Lower plate heights for both the first and second floors.
3. Lower the building into the existing grade.
4. Change the pitch of the roof to reduce the building height.
5. Provide wall articulation for the West and South elevations.
6. Present a consistent shape and style for the windows.
7. Provide sizes and quantities for the plants listed in the landscape plan.
8. Provide a cut sheet for exterior lighting fixtures.



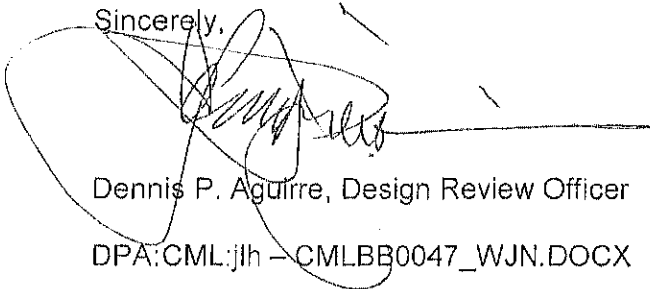
9. In the plans/elevations, indicate the location of exterior lighting fixtures.
10. Incorporate at least one additional color for the exterior materials to help reduce the appearance of bulk.
11. Redesign the front entry to complement other features of the house and to provide a more residential appearance.
12. Choose a decorative garage door that is consistent with the style of the house and provides visual interest.

As such, you were presented with the following available options at the end of the CDRC's deliberation of the project: (i) request for a decision from the CDRC on the plans presented or (ii) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date. The next hearing date will be scheduled once revised project materials have been submitted and reviewed by Planning staff and applicable review agencies.

If you have any questions, please contact Camille Leung, Senior Planner, at 650/363-1826.

To provide feedback, please visit the Department's Customer Survey at the following link:
<http://planning.smcgov.org/survey>.

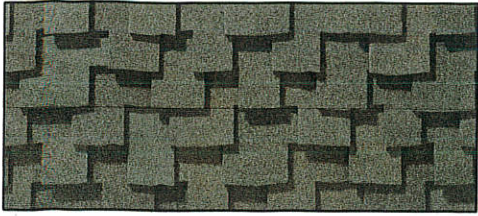
Sincerely,



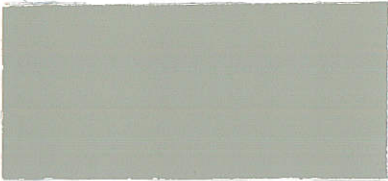
Dennis P. Aguirre, Design Review Officer

DPA:CML:jih - CMLBB0047_WJN.DOCX

cc: Camille Leung, Senior Planner
Stuart Grunow, Member Architect
Dianne Whitaker, Member Architect
June Wang, Harmony Land Development, Property Owner
Alan O'Driscoll, Interested Member of the Public
Cherie Logan, Interested Member of the Public
Peter Logan, Interested Member of the Public
Susan, Tatum, and Corey O'Driscoll, Interested Members of the Public
Fred Crowder, Interested Member of the Public
Lawrence P. Carter, Interested Member of the Public
Jenny Aguilar, Interested Member of the Public
Doris Kelly, Interested Member of the Public
Doreen Avery, Interested Member of the Public
Theresa Cossman, Interested Member of the Public
Mark Welch, Interested Member of the Public



COMPOSITION SHINGLE
ROOF TILE
PRESIDENTIAL TL
'AUTUMN BLEND'



BUILDING STUCCO FINISH
BENJAMIN MOORE
WILLOW CREEK-1468



BUILDING UPPER WOOD SIDING
BENJAMIN MOORE
SILVER CHAIN-1472



TRIM & FASCIA BOARD
BENJAMIN MOORE
DISTANT GRAY- 2124-70

WINDOWS
MILGARD VINYL WHITE

NEW RESIDENCE

PN 2016-00741

047-281-160, CORONADO STREET
EL GRANADA, SAN MATEO CO

DL Architecture & Planning
616 RAMONA ST. STE 21
PALO ALTO, CA (650) 321-2808

P5674 SERIES

LED Wall Mount • Wet Location



Specifications:

Description:

The P5674 Series are ideal for a wide variety of interior and exterior applications including residential and commercial. The Cylinders feature a 120V alternating current source and eliminates the need for a traditional LED driver. This modular approach results in an encapsulated luminaire that unites performance, cost and safety benefits.

Construction:

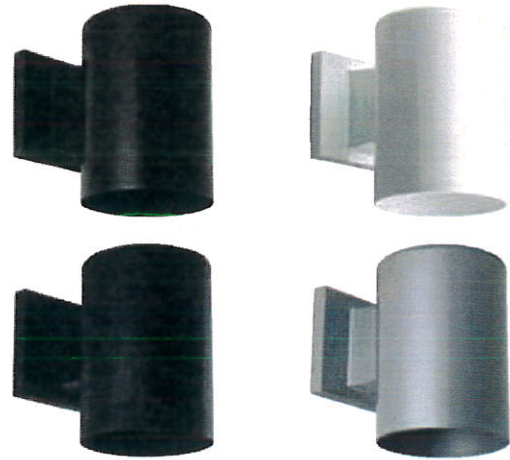
- Powdercoated Antique Bronze (-20), White (-30), Black (-31), Metallic Gray (-82)
- Die-cast aluminum construction
- Flicker-free dimming to 10% brightness with many ELV type dimmers (See Dimming Notes)
- Covers a standard 4" recessed outlet box
- Mounting strap for outlet box included

Performance:

Number of Modules	1
Input Power	17W
Input Voltage	120V
Input Frequency	60Hz
Lumens/LPW	1000/58 (LM-79) per module
CCT	3000K
CRI	90
Life	60,000 (L70/TM-21)
EMI/RFI	FCC Title 47, Part 15, Class B
Min. Start Temp	-30° C
Max. Operating Temp	30° C
Warranty	5 yrs.
Labels	cCSAus certified for wet locations

P5674-30/30K

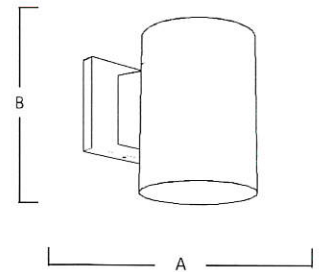
Images:



Dimensions:

A	B
5"	7-1/2"

Extends H/CTR	
8"	2.5



Catalog number:

Base	Finish	Color Temp	CRI
P5674	20 - Antique Bronze	30K - 3000K	90 CRI
	30 - White		
	31 - Black		
	82 - Metallic Gray		

PLN2016-00141



P5674 SERIES

LED Wall Mount • Wet Location



P5674-30/30K

Dimming Notes:

P5674 is designed to be compatible with many Electronic Low Voltage (ELV-Reverse Phase) controls.

The following is a partial list of known compatible dimmer controls:

Electronic Low Voltage ELV Reverse Phase Controls

Lutron	Diva Series	(Part Number DVELV-300)
Lutron	Nova T Series	(Part Number NTELV-300)
Lutron	Vierti Series	(Part Number VTELV-600)
Lutron		(Part Number MAELV-600)
Lutron		(Part Number SPELV-600)
Leviton		(Part Number AWRMG-EAW)

Digital type dimmers are not recommended.

Dimming capabilities will vary depending on the dimmer control, load, and circuit installation.

Always refer to dimmer manufacturer instructions or a controls specialist for specific requirements.

Dimmer control brand names where identified above are trade names or registered trademarks of each respective company.

PROJECT TEAM

OWNER:
JUNE WANG
933 SANDPIPER LANE,
PALO ALTO, CA 94303

ARCHITECT:
DL ARCHITECTURE & PLANNING
616 RAMONA ST. STE. 21
PALO ALTO, CA 94301
(650) 321-2808
CONTACT: Eric Keng

STRUCTURAL ENGINEER:
TO BE DETERMINED

TITLE 24:
TO BE DETERMINED

LAND SURVEYOR/CIVIL ENGINEER:
PROFESSIONAL LAND SERVICES
901 SNEATH LANE, #117
SAN BRUNO, CA 94066
(650) 650-244-9667
CONTACT: MICHAEL S. MAHONEY

LANDSCAPE ARCHITECT
ANYI HUANG
2647 ROYAL ANN DRIVE
UNION CITY, CA 94587
ANYI@ANYLANDSCAPE.COM

PROJECT DATA

A. APN: 047-281-160
B. ZONING: S-17
C. FLOOD ZONE: X
D. SITE AREA: 6,705 SQ.FT.
E. COVERED PARKING SPACES: 2
F. MAXIMUM SIZE OF MAIN DWELLING UNIT: 3,552 SQ.FT.
G. MAXIMUM FAR: 0.53
H. MAXIMUM LOT COVERAGE: 35.0%
I. SETBACK:

	EXISTING	PROPOSED	REQUIRED
FRONT YARD	---	20'-0"	20'-0"
SIDE YARD (RIGHT)	---	5'-0"	5'-0"
SIDE YARD (STREET)	---	10'-0"	10'-0"
REAR YARD	---	20'-0"	20'-0"
J. OCCUPANCY GROUP		R3/U	
K. TYPE OF CONSTRUCTION		VB	

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING
2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA GREEN BUILDING CODE

	EXISTING	(E) TO BE REMOVED	NEW	SUBTOTAL
A GARAGE	---	---	416 SQ.FT.	416 SQ.FT.
B 1ST FLOOR	---	---	1,126 SQ.FT.	1,126 SQ.FT.
C 2ND FLOOR (INCLUDING OPEN SPACE)	---	---	1,219 SQ.FT. (70 SQ.FT.)	1,219 SQ.FT.
D COVERED PATIO	---	---	---	---
E ENTRY PORCH	---	---	15 SQ.FT.	15 SQ.FT.
FAR (A+B+C)/6,705	---	---	2,761/6,705	2,761 SQ.FT. 0.41
LOT COVERAGE/6,705 (A+B+D+E)	---	---	1,557/6,705	1,557 SQ.FT. 24.3%
TOTAL LIVING AREA (INCLUDING OPEN SPACE)			2,345 SQ.FT. (70 SQ.FT.)	

SHEET INDEX

ARCHITECTURAL:
SK-1 SITE PLAN, VICINITY MAP, PROJECT DATA
C-1 SITE SURVEY
C-2 GRADING PLAN
L-1 LANDSCAPE PLAN
SK-2 FLOOR PLANS
SK-3 BUILDING EXTERIOR ELEVATIONS
SK-4 BUILDING SECTIONS

SCOPE OF WORK

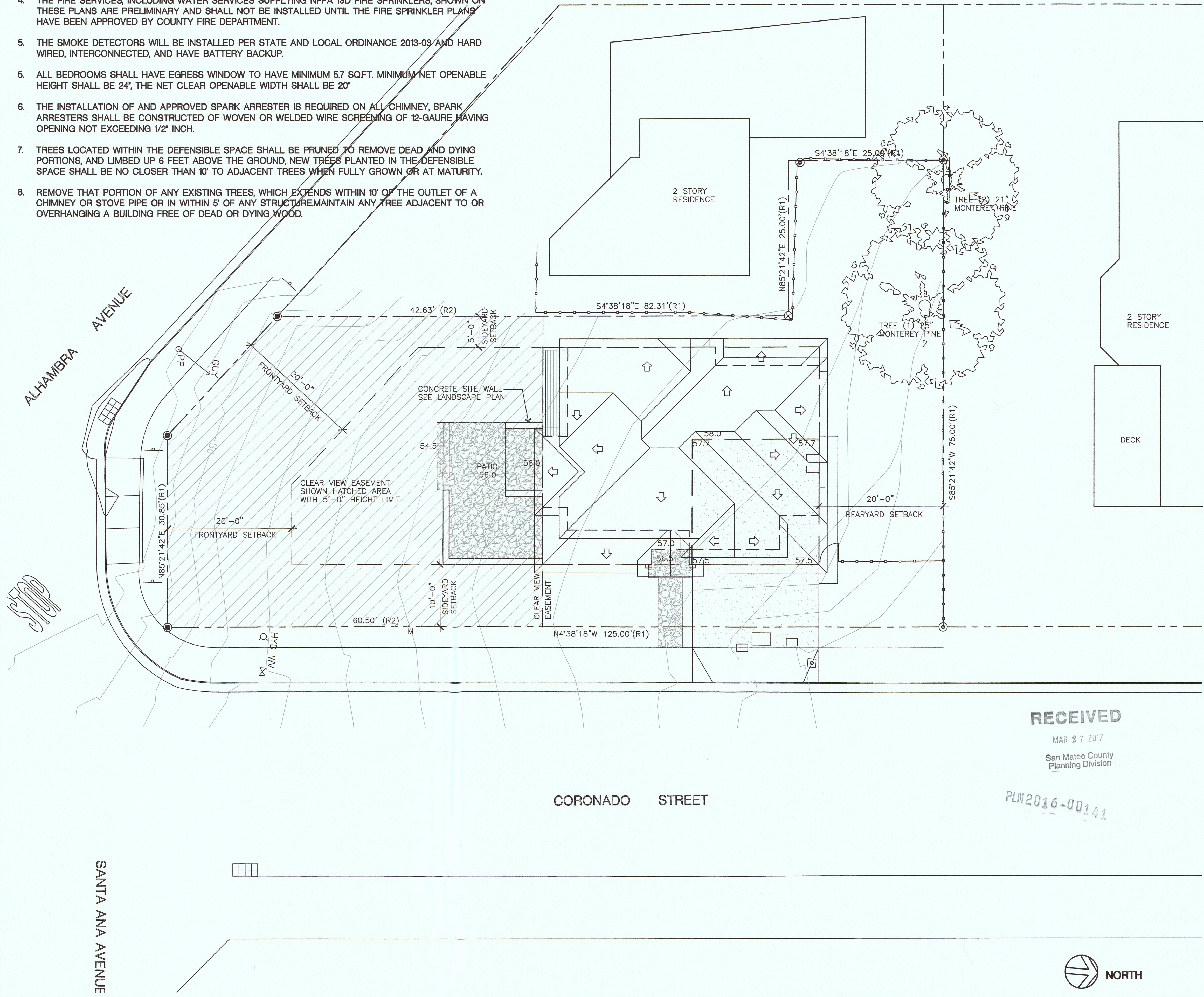
NEW 2 STORY RESIDENCE WITH 3 BEDROOMS ON THE 2ND FLOOR, ONE GUEST BEDROOM ON THE 1ST FLOOR, 2-CAR ATTACHED GARAGE, LIVING ROOM, FAMILY ROOM, KITCHEN. THE ENTIRE DEVELOPMENT IS LOCATED OUTSIDE OF CLEAR VIEW EASEMENT

VICINITY MAP



FIRE SPRINKLER NOTES:

- BUILDING WILL BE REQUIRED TO HAVE NFPA 13D SPRINKLER SYSTEM PER CRC R313.2
- OBTAIN SEPARATE FIRE SPRINKLER PERMIT. DESIGN AND INSTALL IN ACCORDANCE WITH NFPA 13D, 2013
- THE ADDRESS OF THE RESIDENCE SHALL BE PROVIDED AND PLACED IN POSITION THAT IS READILY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE ADDRESS SHOULD BE CONTRAST WITH THE BACKGROUND COLOR OF THE BUILDING AND SHOULD BE 4' HEIGHT AND 1/2" STRIKE MINIMUM.
- THE FIRE SERVICES, INCLUDING WATER SERVICES SUPPLYING NFPA 13D FIRE SPRINKLERS, SHOWN ON THESE PLANS ARE PRELIMINARY AND SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER PLANS HAVE BEEN APPROVED BY COUNTY FIRE DEPARTMENT.
- THE SMOKE DETECTORS WILL BE INSTALLED PER STATE AND LOCAL ORDINANCE 2013-03 AND HARD WIRED, INTERCONNECTED, AND HAVE BATTERY BACKUP.
- ALL BEDROOMS SHALL HAVE EGRESS WINDOW TO HAVE MINIMUM 5.7 SQ.FT. MINIMUM NET OPENABLE HEIGHT SHALL BE 24', THE NET CLEAR OPENABLE WIDTH SHALL BE 20'
- THE INSTALLATION OF AND APPROVED SPARK ARRESTER IS REQUIRED ON ALL CHIMNEY, SPARK ARRESTERS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12-GAURE HAVING OPENING NOT EXCEEDING 1/2" INCH.
- TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 FEET ABOVE THE GROUND, NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE NO CLOSER THAN 10' TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.
- REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10' OF THE OUTLET OF A CHIMNEY OR STOVE PIPE OR IN WITHIN 5' OF ANY STRUCTURE MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.



REVISIONS

△	CDR/VA	4-7-2016
△	CDR/VA	9-12-2016
△	CDR/VA	9-23-2016
△	CDR	3-24-2017



DL Architectural & Planning
616 RAMONA ST. STE 21
PALO ALTO, CA (650) 321-2808

NEW RESIDENCE
FOR: June Wang
APN: 047-281-160
EL GRANADA, SAN MATEO COUNTY, CA

SITE PLAN, PROJECT DATA, VICINITY MAP

DATE	2-1-2015
SCALE	1/4"=1'-0"
DRAWN	-
JOB	-
SHEET	SK-1
OF SHEETS	-

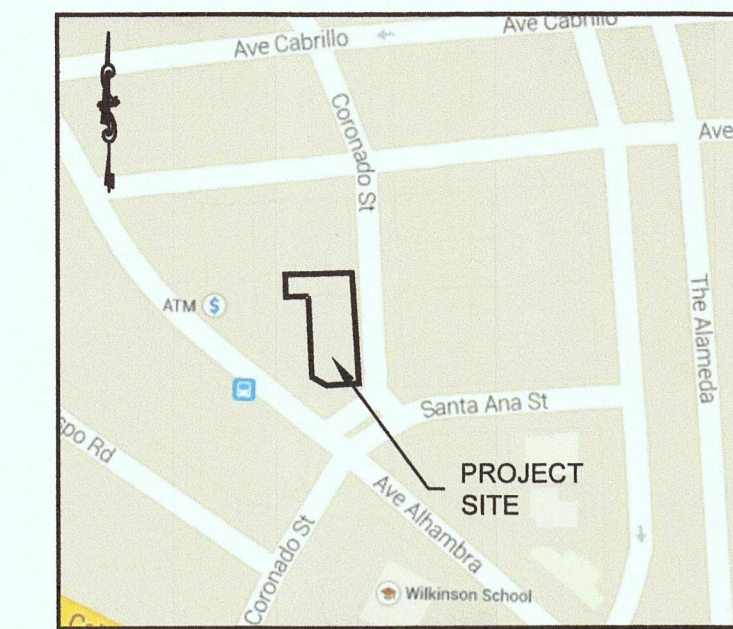
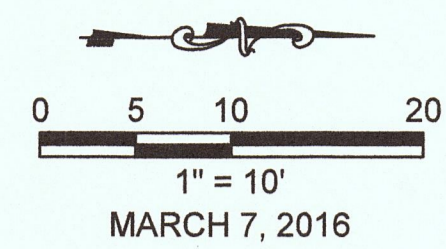
RECEIVED

MAR 27 2017

San Mateo County
Planning Division

PLN2016-00141





VICINITY MAP NO SCALE

Michael S. Mahoney
 MICHAEL S. MAHONEY PLS 5577
 LICENSE EXPIRES 12/31/15



LEGEND

- BOUNDARY LINE/PROPERTY LINE (P/L)
- - - LINE OF SURVEY
- - - BOUNDARY OF EASEMENT
- - - WATER LINE
- SS SS SANITARY SEWER PIPE WITH DIRECTION OF FLOW
- SD SD STORM DRAIN PIPE WITH DIRECTION OF FLOW
- WOOD FENCE LINE
- MAJOR CONTOUR LINE W/ ELEVATION
- OVERHEAD ELECTRICAL WIRE
- ⊗ SET PK AND ALUMINUM WASHER STAMPED L.S. 5577 (N1)
- ⊙ SET IRON PIPE W/ PLASTIC PLUG STAMPED L.S. 5577 (N1)
- ⊙ FOUND 0.75" IRON PIPE WITH PLASTIC PLUG STAMPED "LS 5577", PER 23 LLS 98
- ⊙ FOUND TACK AND 0.75" BRASS TAG STAMPED "LS 5577", PER 23 LLS 98
- ⊙ FOUND CITY MONUMENT 2.5" BRASS DISK IN MONUMENT WELL W/ LID
- ⊙ SET CONTROL POINT
- ⊙ WATER VALVE
- ⊙ GAS VALVE
- ⊙ PVC POLYVINYL CHLORIDE PIPE
- ⊙ VCP VITRIFIED CLAY PIPE
- ⊙ RCP REINFORCED CONCRETE PIPE
- ⊙ SDDI STORM DRAIN DRAIN INLET
- ⊙ SDMH STORM DRAIN MANHOLE
- ⊙ SSMH SANITARY SEWER MANHOLE
- FL FLOWLINE
- TC TOP OF CURB
- BEW BACK EDGE OF WALK
- HYD FIRE HYDRANT
- PP POWER POLE
- GUY GUY WIRE
- ⊙ TREE - 6" & LARGER

REFERENCES

- (R1) RECORD OF SURVEY, FILED IN THE OFFICE OF THE RECORDER OF SAN MATEO COUNTY ON JUNE 27, 2002 IN BOOK 23 OF LICENSED LAND SURVEYOR MAPS AT PAGE 98.
- (R1) GRANT DEED, FILED IN THE OFFICE OF THE RECORDER OF SAN MATEO COUNTY ON JUNE 3, 2006, AS DOCUMENT #2006-065806.

BASIS OF ELEVATIONS

THE CONTOURS SHOWN HEREON ARE BASED ON A POINT ESTABLISHED WITH GPS EQUIPMENT, ALONG WITH A SOLUTION FROM THE NATIONAL GEODETIC SURVEY - ONLINE POSITIONING USER SERVICE, BEING A PK NAIL AND SHINER SET IN THE CONCRETE SIDEWALK NEAR THE NORTHWESTERLY CORNER OF THE PARCEL HAVING APN 047-281-160, LABELED GPS-1 HAVING A NORTHING OF 2010871.79 AND AN EASTING OF 5991124.53 AND AN ELEVATION OF 59.14, AND BEING NAD_83(2011)(EPOCH:2010.0000) & NAVD88 (COMPUTED USING GEOID12A).

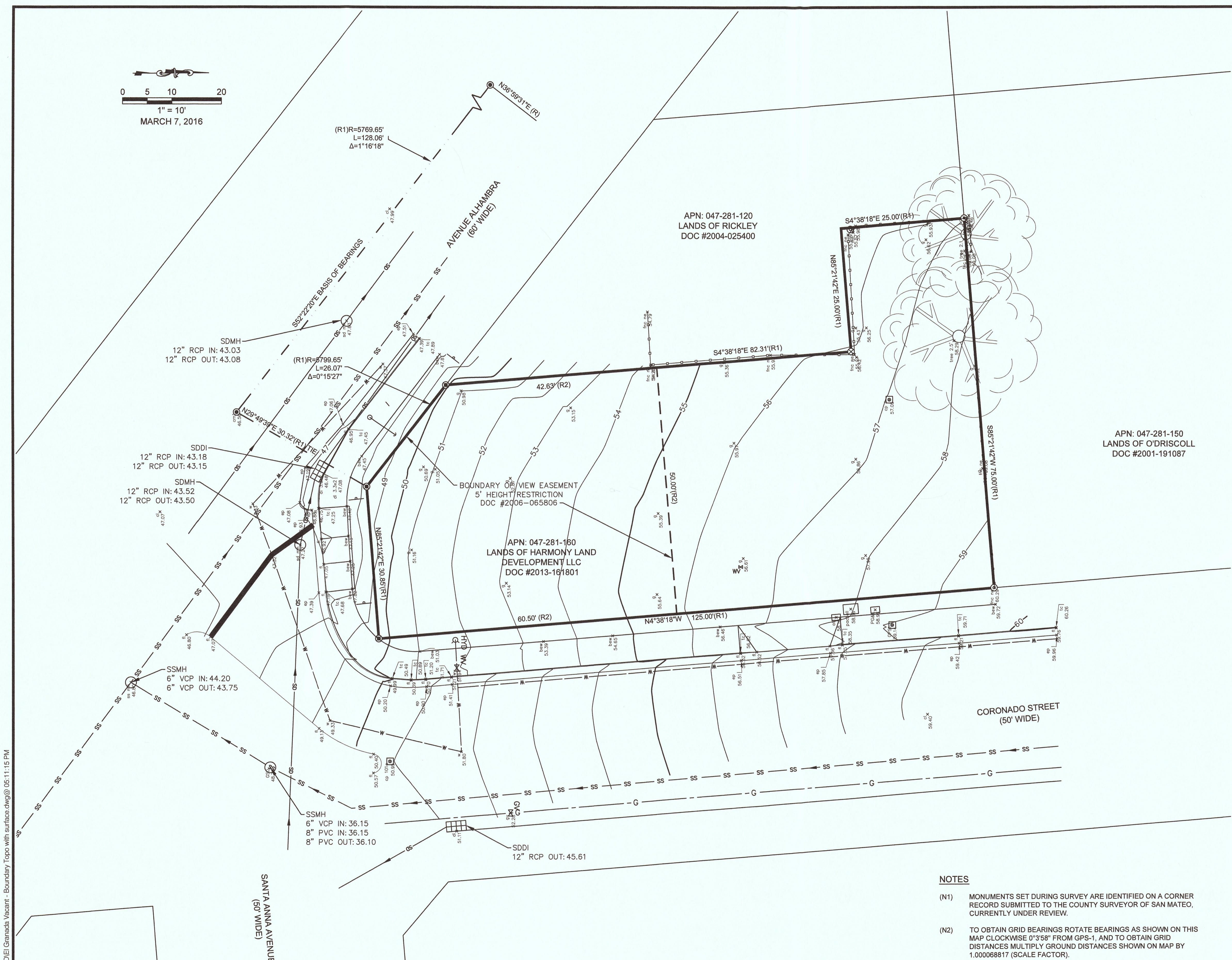
BASIS OF BEARINGS

THE BEARING OF S2°22'20"E BETWEEN TWO FOUND CITY MONUMENTS HAVING A DISTANCE BETWEEN THEM OF 128.05' ALONG THE MONUMENT LINE OF AVENUE ALHAMBRA AS SHOWN ON THAT RECORD OF SURVEY, FILED IN THE OFFICE OF THE RECORDER OF SAN MATEO COUNTY ON JUNE 27, 2002 IN BOOK 23 OF LICENSED LAND SURVEYOR MAPS AT PAGE 98.

NOTES

- (N1) MONUMENTS SET DURING SURVEY ARE IDENTIFIED ON A CORNER RECORD SUBMITTED TO THE COUNTY SURVEYOR OF SAN MATEO, CURRENTLY UNDER REVIEW.
- (N2) TO OBTAIN GRID BEARINGS ROTATE BEARINGS AS SHOWN ON THIS MAP CLOCKWISE 0°3'58" FROM GPS-1, AND TO OBTAIN GRID DISTANCES MULTIPLY GROUND DISTANCES SHOWN ON MAP BY 1.000068817 (SCALE FACTOR).

E:\2016-3001 El Granada\GIS\El Granada\Vacant - Boundary\Topo with surface.dwg@05:11:15 PM
 Plotted on: 09/21/16 @ 05:11:15 PM



NO.	REVISIONS	DATE

REVISIONS PER COUNTY COMMENTS	09/21/2016
JOB#: 2016.3001	
DATE: 03/23/16	
100% SUBMITTAL	

(650) 244-9667
 jmahoney@pls-corp.com
 901 Sneath Ln, Suite 117
 San Bruno, CA 94066

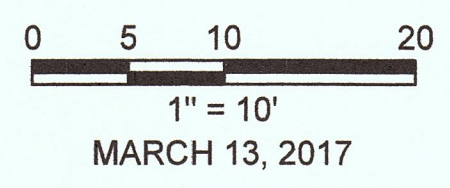
Professional Land Services
 LAND DEVELOPMENT SPECIALISTS

DESIGNED: JKO
 DRAWN: JKO
 APPROVED: JKO

PREPARED FOR:
JUNE WANG
 933 SANDPIPER LANE
 PALO ALTO, CA 94303

TITLE:
 EXISTING TOPOGRAPHY
 VACANT LOT - CORONADO ST & SANTA ANA AVE
 EL GRANADA, CA 94019

SHEET 1
 OF
 2



MARCH 13, 2017
 (R1)R=5789.65'
 L=128.06'
 Δ=1°16'18"

(R1)R=5799.65'
 L=26.07'
 Δ=0°15'27"

(R1)R=5799.65'
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 Δ=0°15'27"

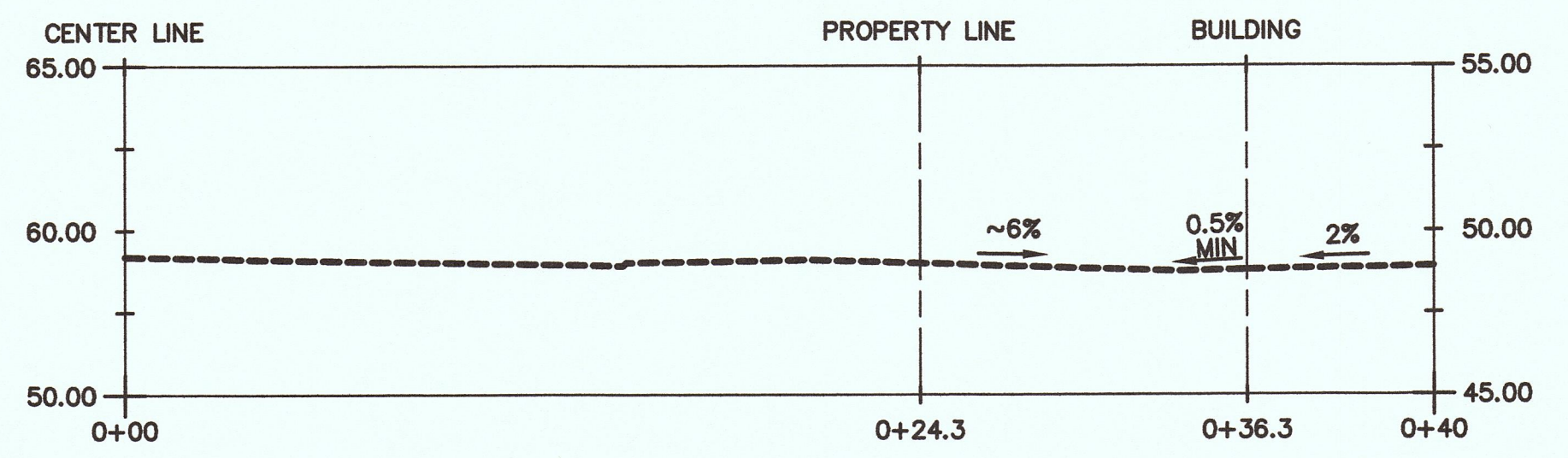
APN: 047-281-120
 LANDS OF RICKLEY
 DOC #2004-025400

PROPOSED NEW HOUSE
 1,522± SF, FF=VARIES

APN: 047-281-160
 LANDS OF HARMONY LAND
 DEVELOPMENT LLC
 DOC #2013-161801

GENERAL NOTES

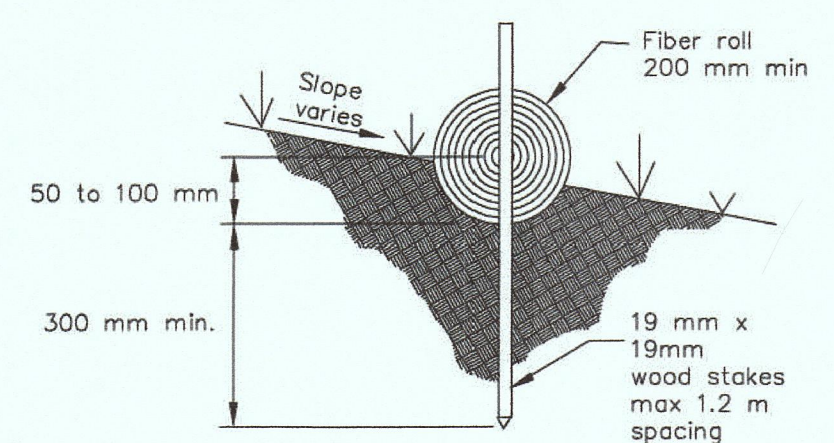
- ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE STANDARD PLANS AND SPECIFICATIONS OF THE COUNTY OF SAN MATEO.
- IF PAVING AND STORM DRAIN IMPROVEMENTS ARE NOT COMPLETED BY OCTOBER 1, TEMPORARY SILT AND EROSION CONTROL FACILITIES SHALL BE INSTALLED TO CONTROL AND CONTAIN SILT DEPOSITS AND TO PROVIDE FOR THE SAFE DISCHARGE OF STORM WATERS INTO EXISTING STORM DRAINAGE FACILITIES. ADDITIONAL EROSION CONTROL MAY BE NEEDED AT THAT TIME.



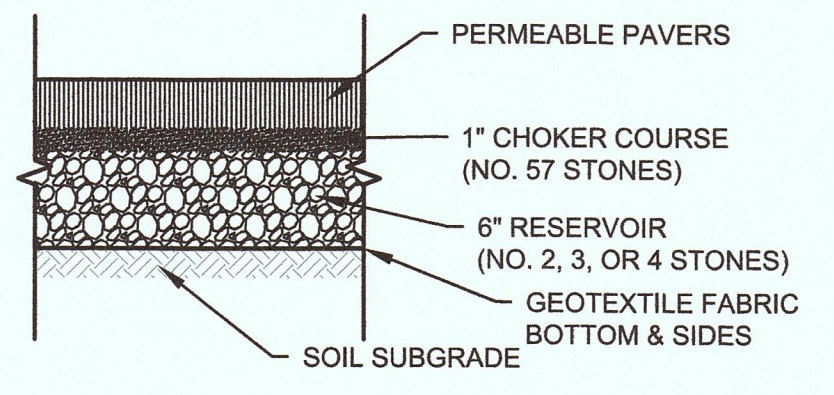
PROFILE A - DRIVEWAY PROFILE
 HORIZ. SCALE: 1" = 5'; VERT. SCALE: 1" = 10'

LEGEND

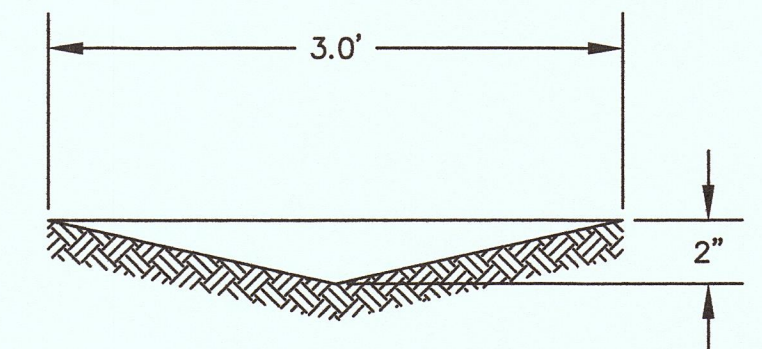
- 6" SOLID PVC PIPE
- AREA DRAIN (AD), "DETAIL A" THIS SHEET
- VEGETATED SWALE, "DETAIL B" THIS SHEET
- FIBER ROLLS, "DETAIL C" THIS SHEET
- PERMEABLE PAVERS, "DETAIL D" THIS SHEET
- VEGETATED BASIN
- CONCRETE
- FINISHED GRADE
- FINISHED SURFACE
- GRADE BREAK
- FLOW LINE ELEVATION
- INVERT ELEVATION
- FINISHED FLOOR ELEVATION
- SEE ARCHITECTURAL DRAWINGS
- SEE STRUCTURAL DRAWINGS
- BOTTOM OF WALL
- TOP OF WALL



DETAIL D - FIBER ROLL
 NOT TO SCALE



DETAIL D - PERMEABLE PAVER SECTION
 NOT TO SCALE

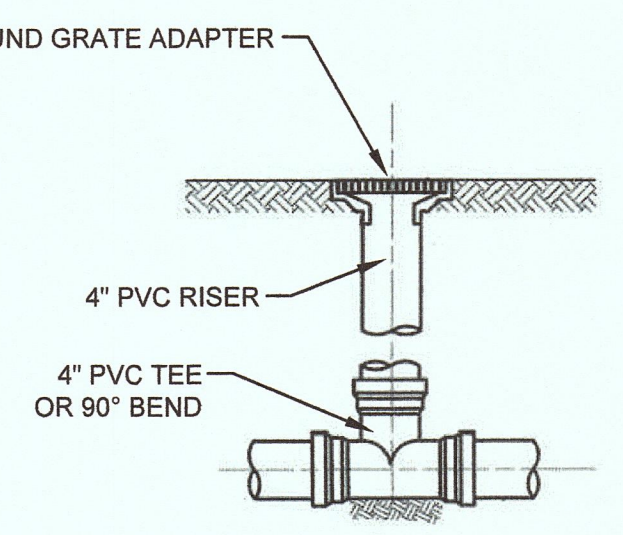
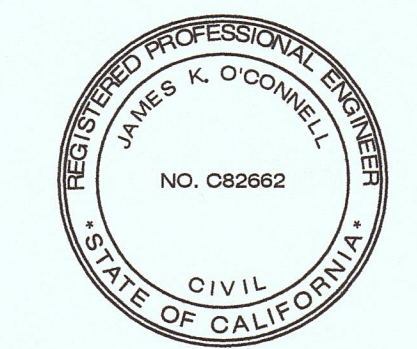


DETAIL B - VEGETATED SWALE
 NOT TO SCALE

EARTHWORK QUANTITIES

CUT	88 CY
FILL	84 CY
NET CUT	24 CY

JAMES K. O'CONNELL RCE #82662



DETAIL A - AREA DRAIN
 NOT TO SCALE

H:\2016-3001 El Granada C&D\El Granada Vacant - Grading and Drainage.dwg@ 04:11:25 PM

SANTA ANNA AVENUE
 (50 WIDE)

NO.	REVISIONS	DATE
1	REVISIONS PER COUNTY COMMENTS	09/21/2016
2	2ND REVISIONS PER COUNTY COMMENTS	03/13/2017

JOB#: 2016.3001
 DATE: 03/23/16
 100% SUBMITTAL



DESIGNED: JKO
 DRAWN: JKO
 APPROVED: JKO

PREPARED FOR:
JUNE WANG
 933 SANDPIPER LANE
 PALO ALTO, CA 94303

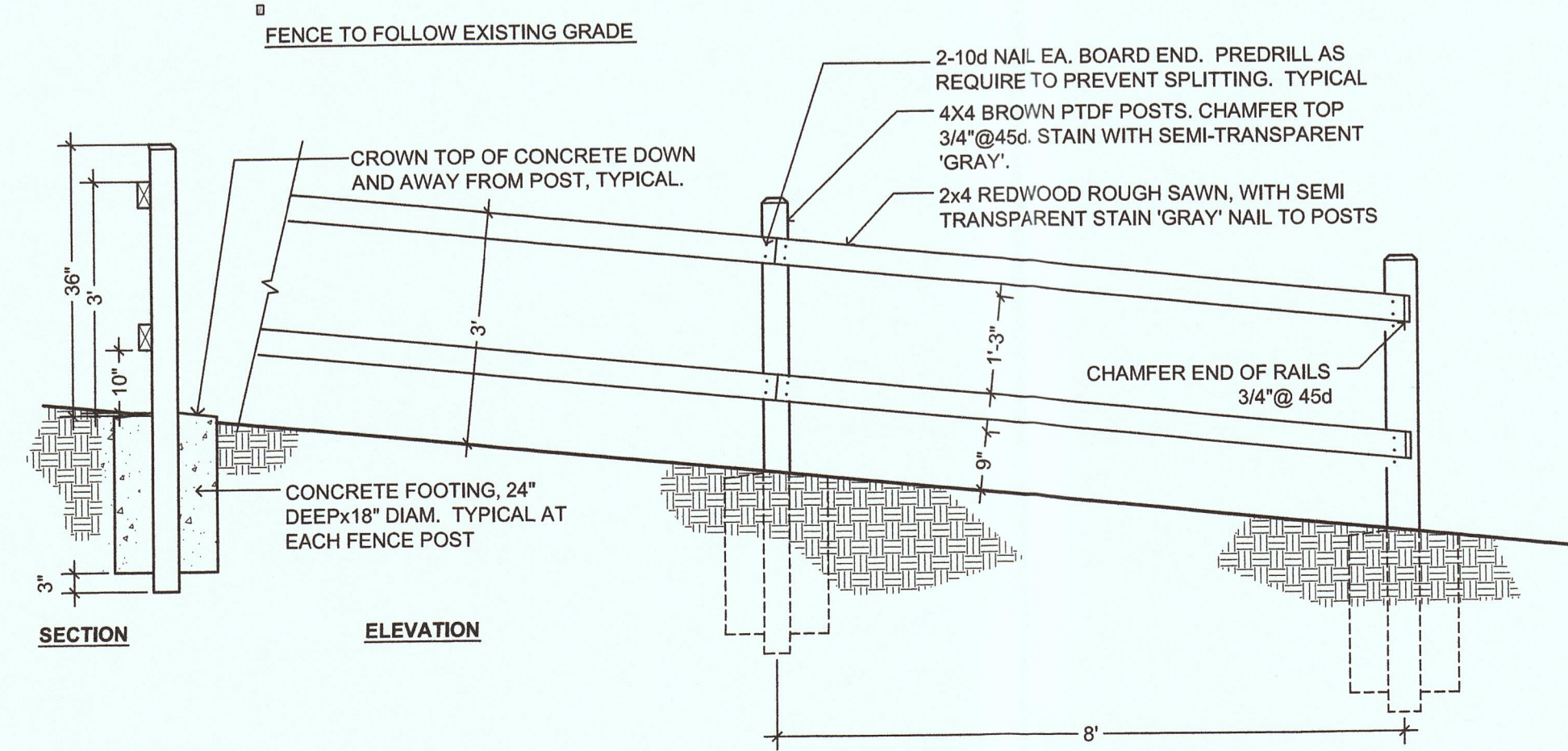
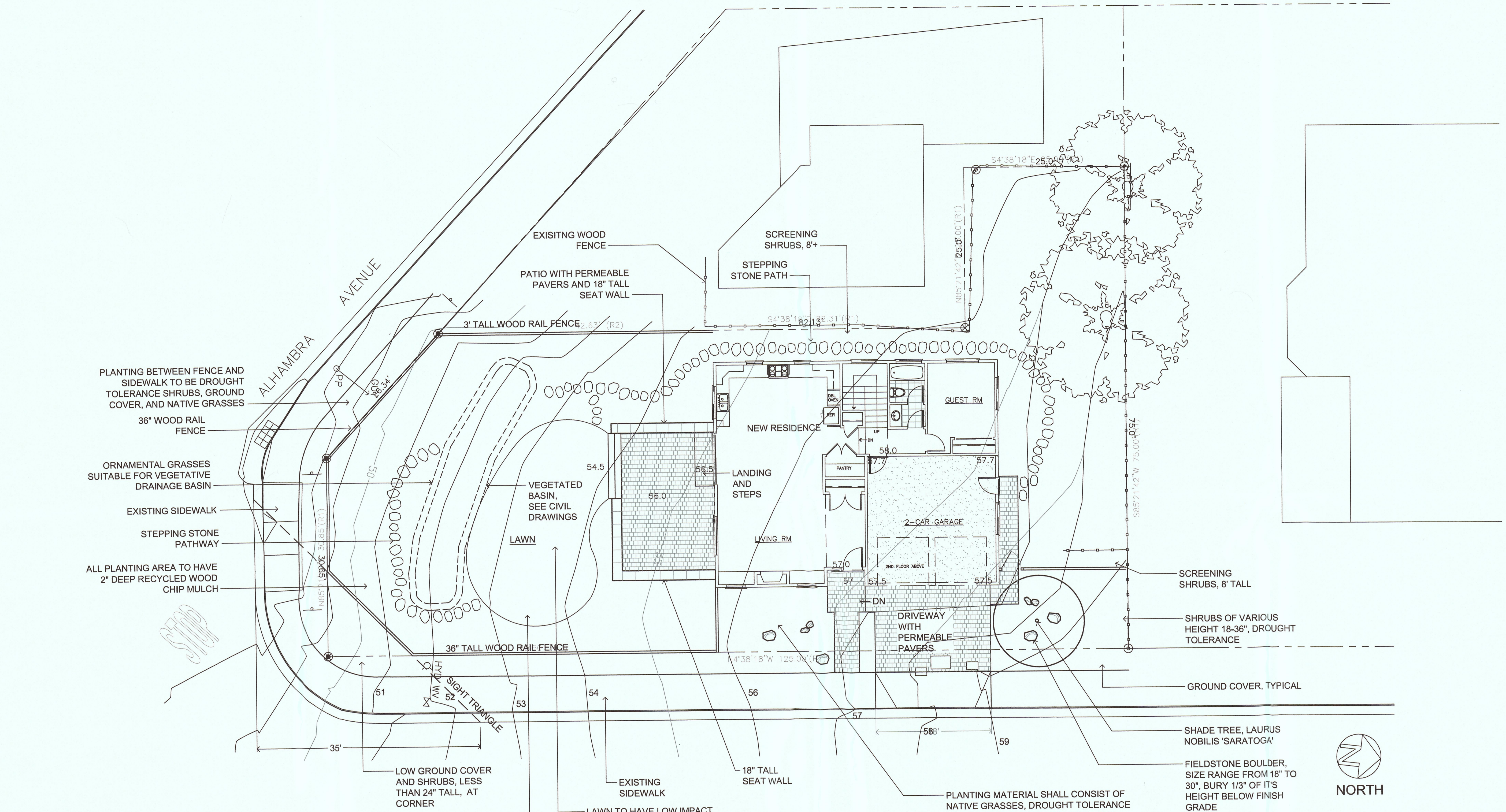
TITLE:
PRELIMINARY GRADING, DRAINAGE, & EROSION CONTROL
 VACANT LOT - CORONADO ST & SANTA ANA AVE
 EL GRANADA, CA 94019

SHEET 2
 OF
 2

REVISIONS	
3/7/17	

ANYI HUANG
 LANDSCAPE ARCHITECT # 4987
 2647 ROYAL ANN DRIVE
 UNION CITY, CA 94687
 anyi@anylandscape.com

SCHEMATIC LANDSCAPE PLAN



PROJECT ADDRESS:
 NEW RESIDENCE
 CORONADO ST / SANTA ANA AVE
 EL GRANADA, CALIFORNIA

DATE:
 3 / 30/2016

SCALE:
 1/8" = 1'-0"

DRAWN BY:
 AH

PROJECT #
 16022

REVISIONS	
△	CDR/VA 4-7-2016
△	CDR/VA 9-12-2016
△	CDR/VA 9-29-2016
△	CDR 3-24-2017
△	

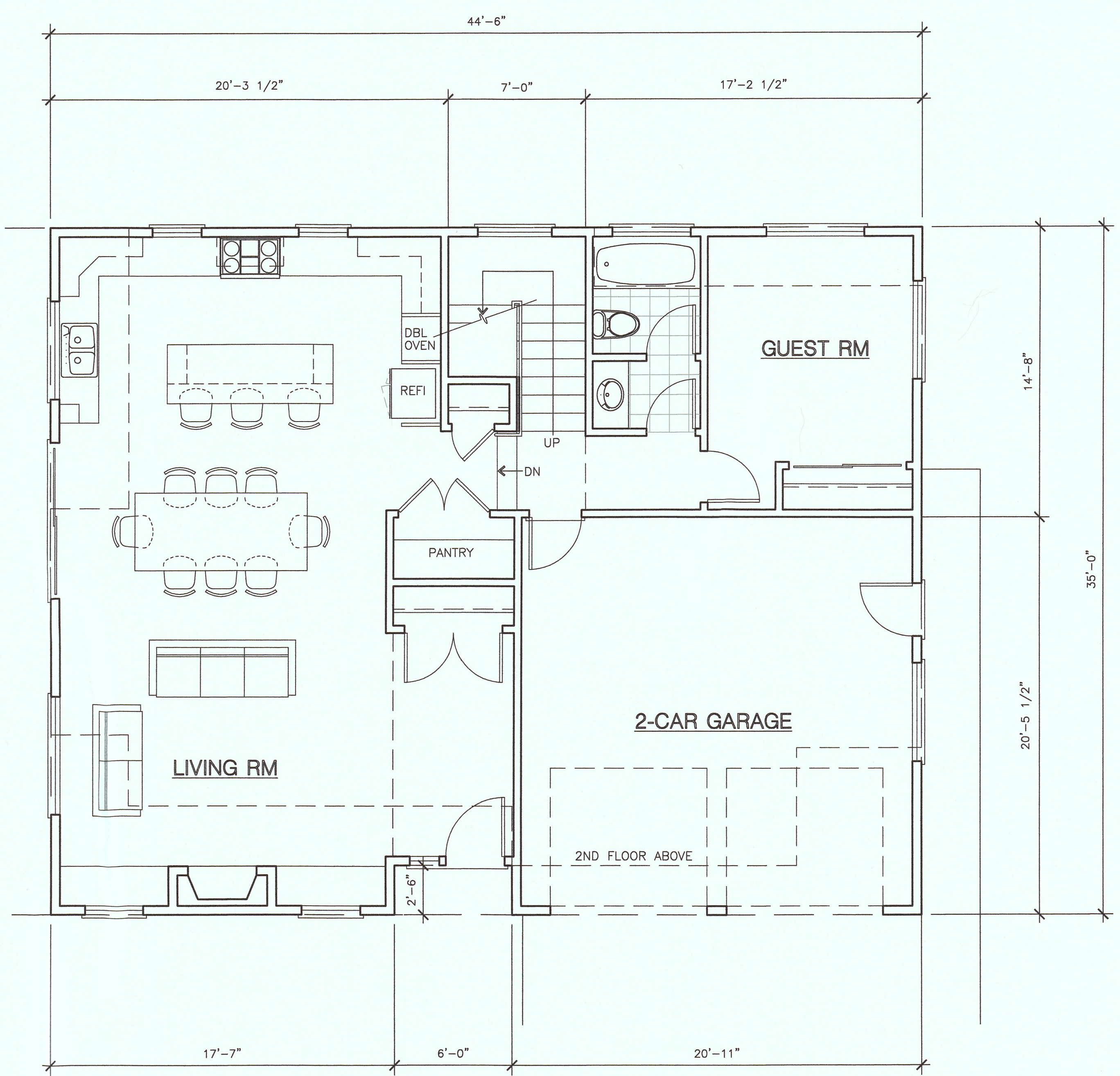
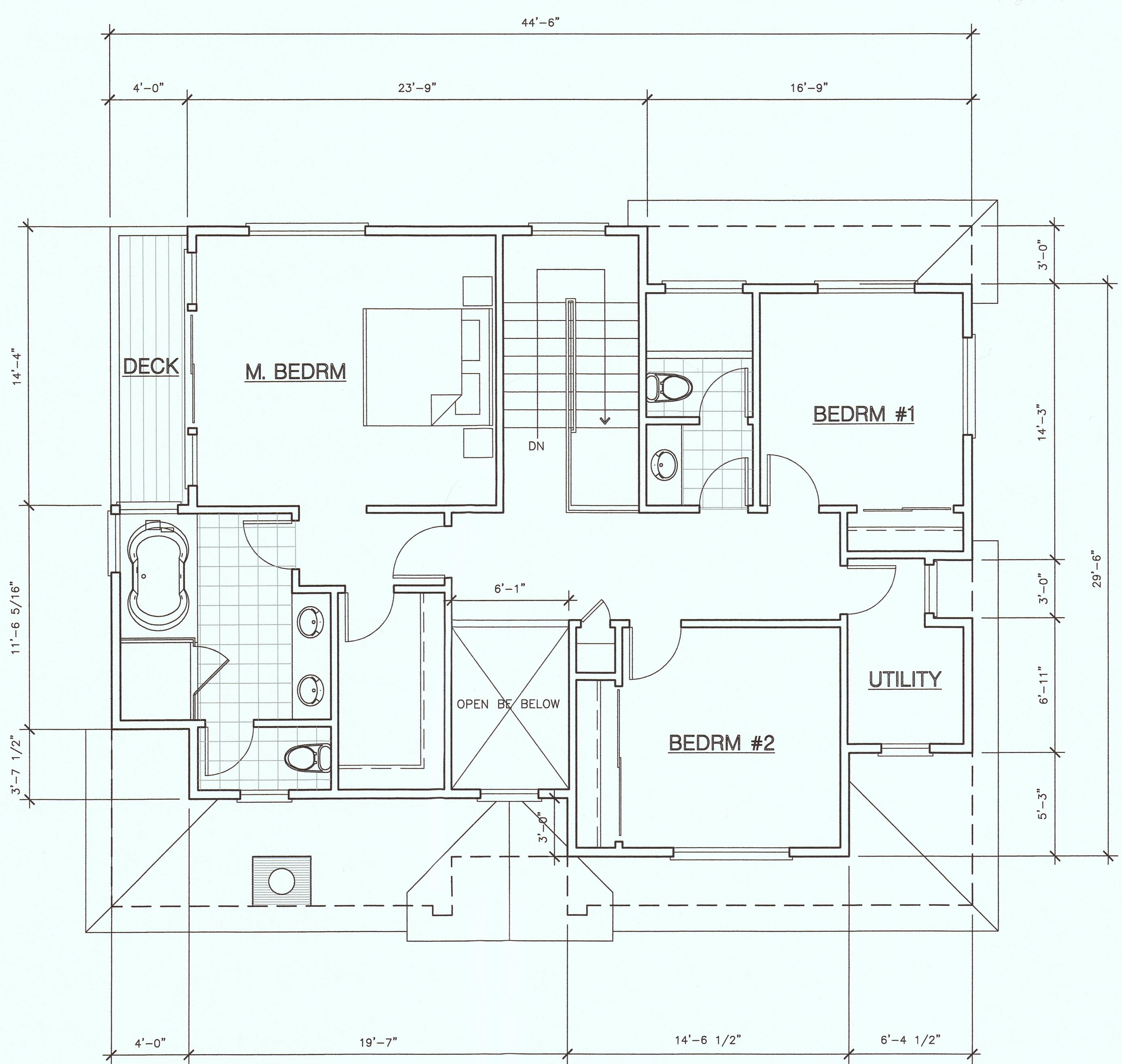


DL Architectural & Planning
 616 RAMONA ST. STE 21
 PALO ALTO, CA (650) 321-2808

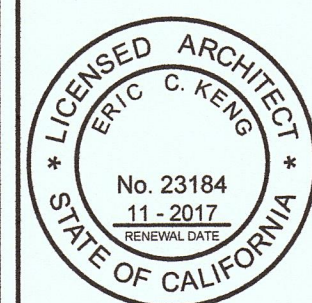
NEW RESIDENCE
 FOR: June Wang
 APN: 047-281-160
 EL GRANADA, SAN MATEO COUNTY, CA

FLOOR PLANS

DATE	2-1-2015
SCALE	1/4"=1'-0"
DRAWN	-
JOB	-
SHEET	SK-2
OF SHEETS	OF



REVISIONS	
△	CDR/VA 4-7-2016
△	CDR/VA 9-12-2016
△	CDR/VA 9-29-2016
△	CDR 3-24-2017
△	

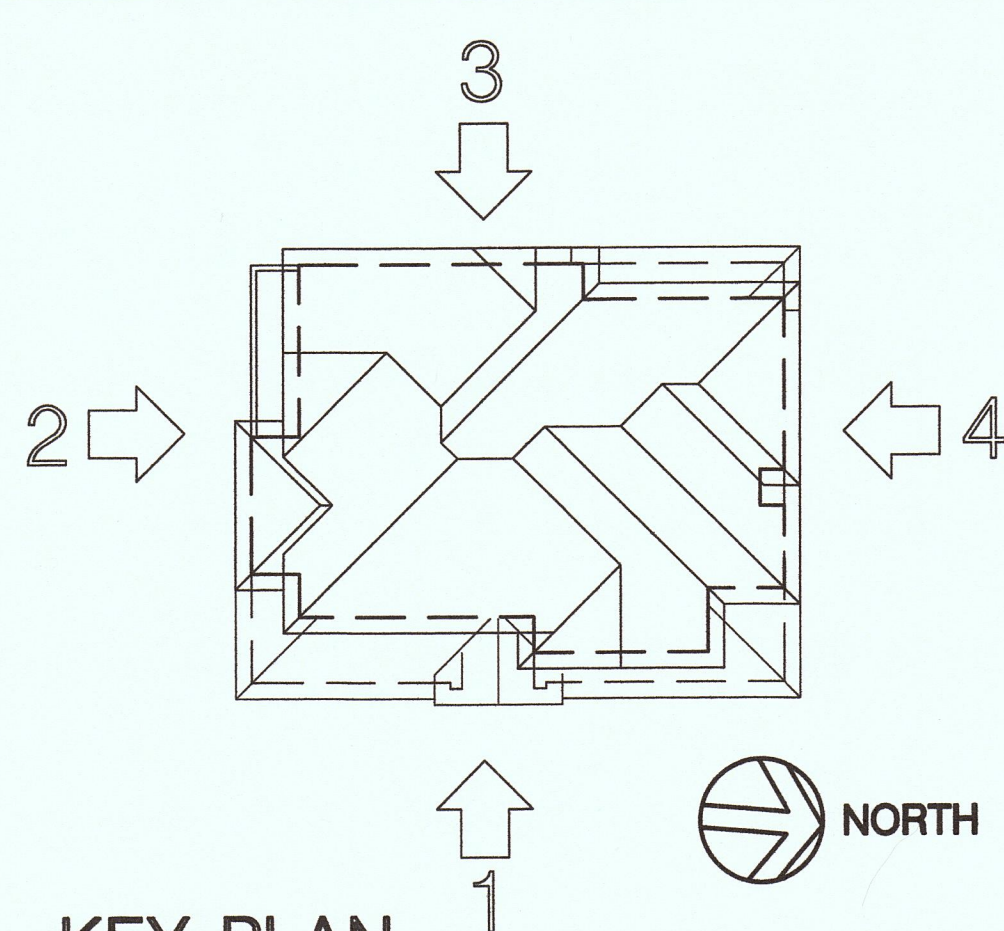


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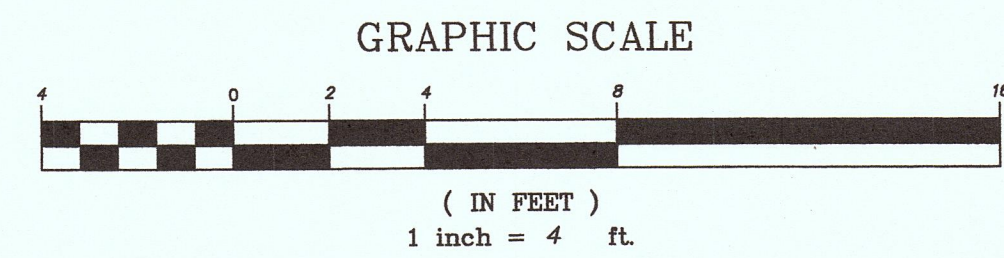
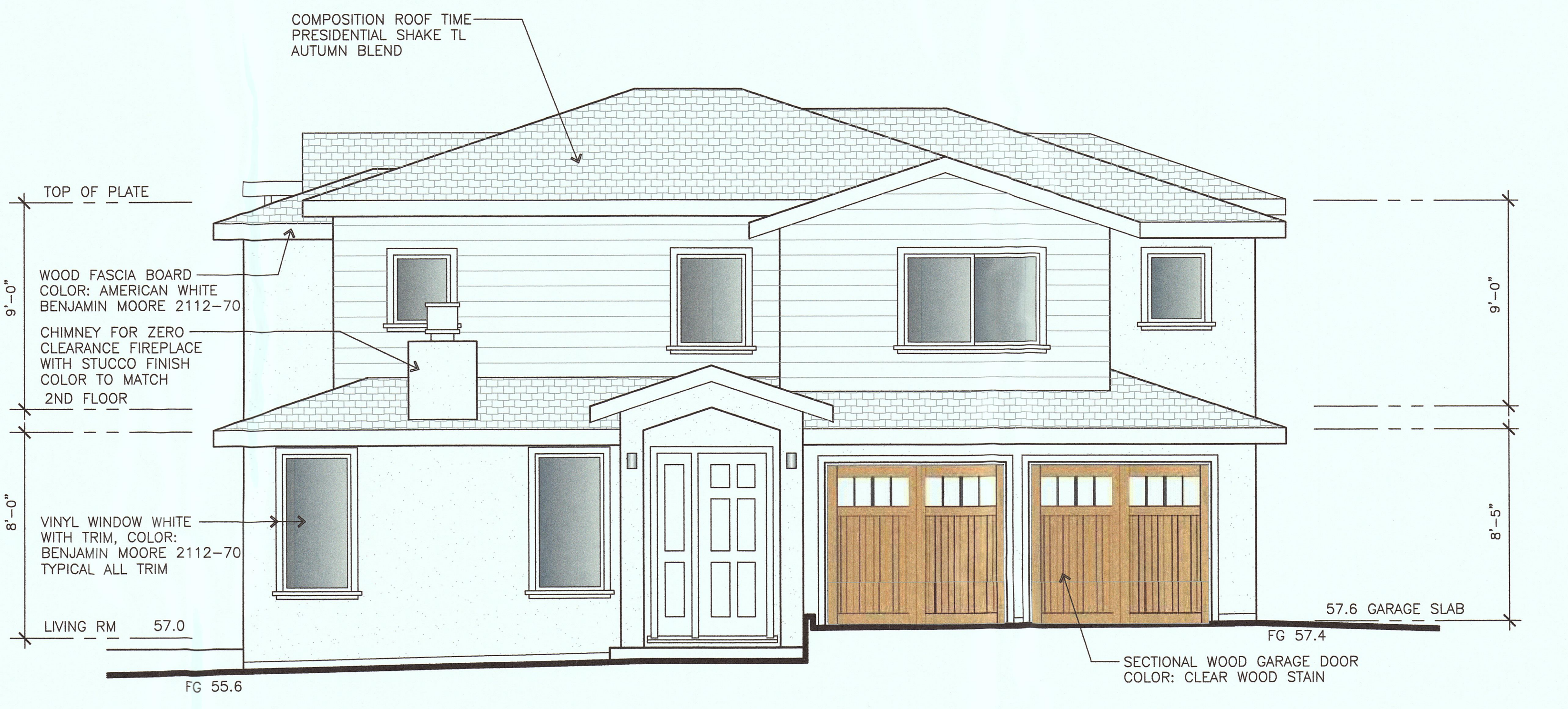
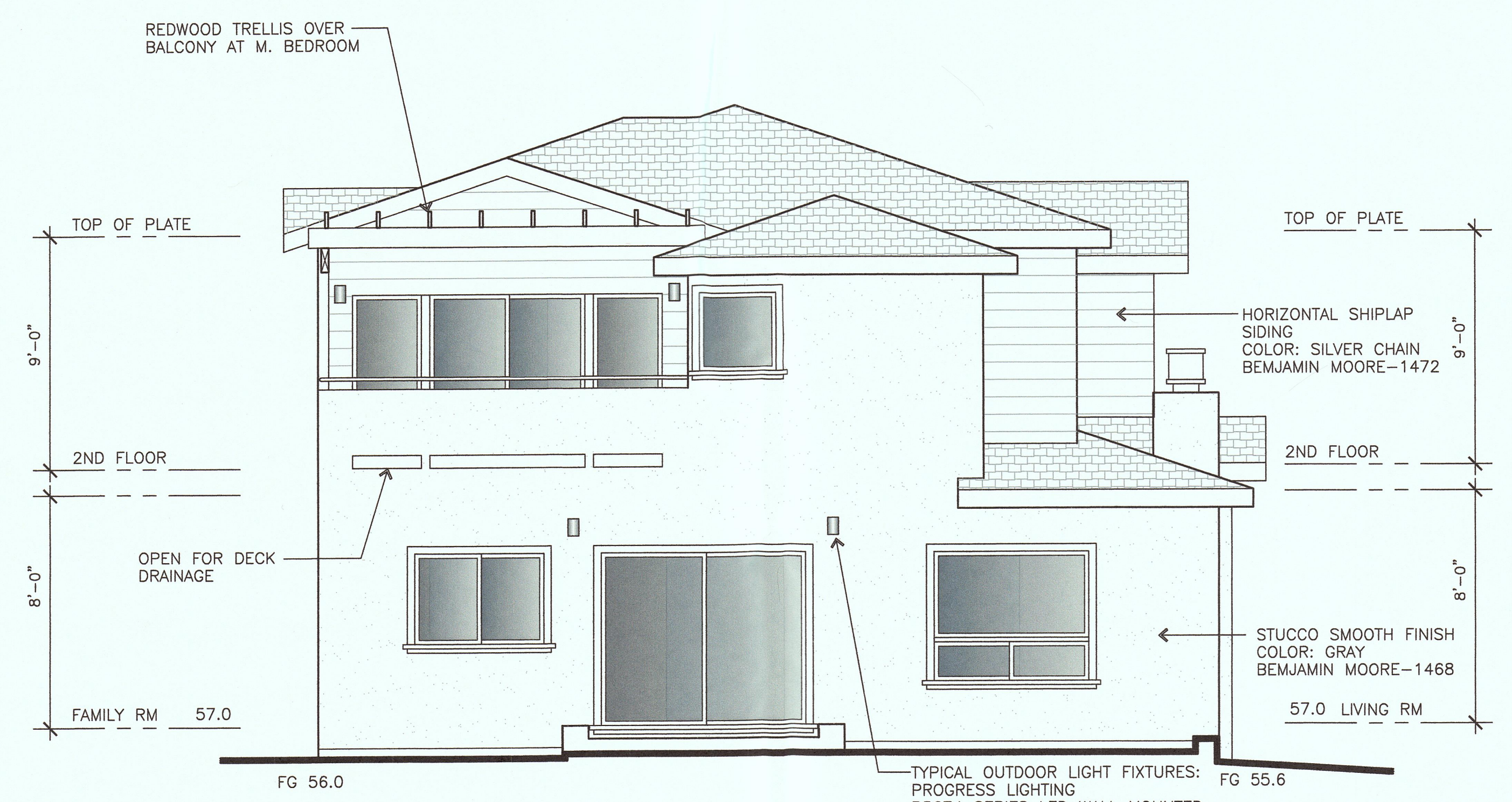
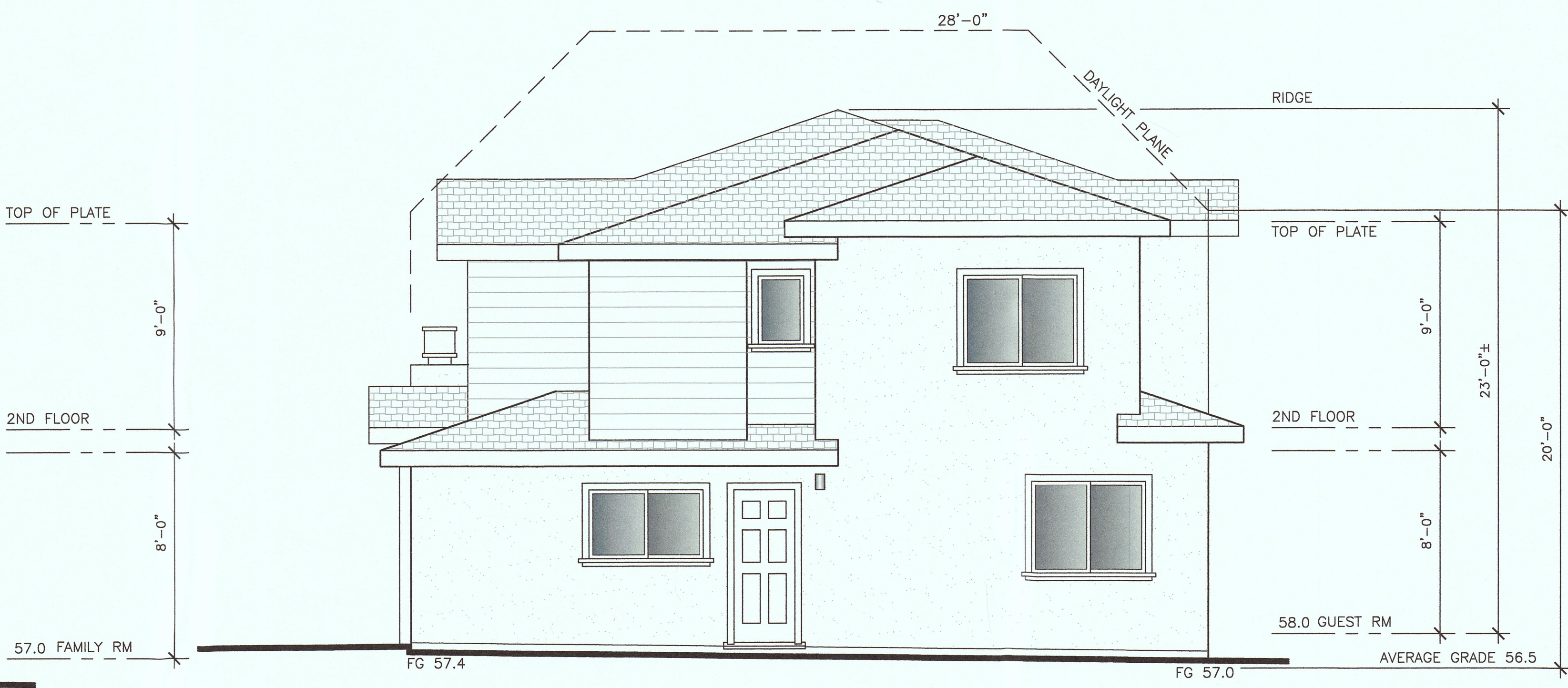
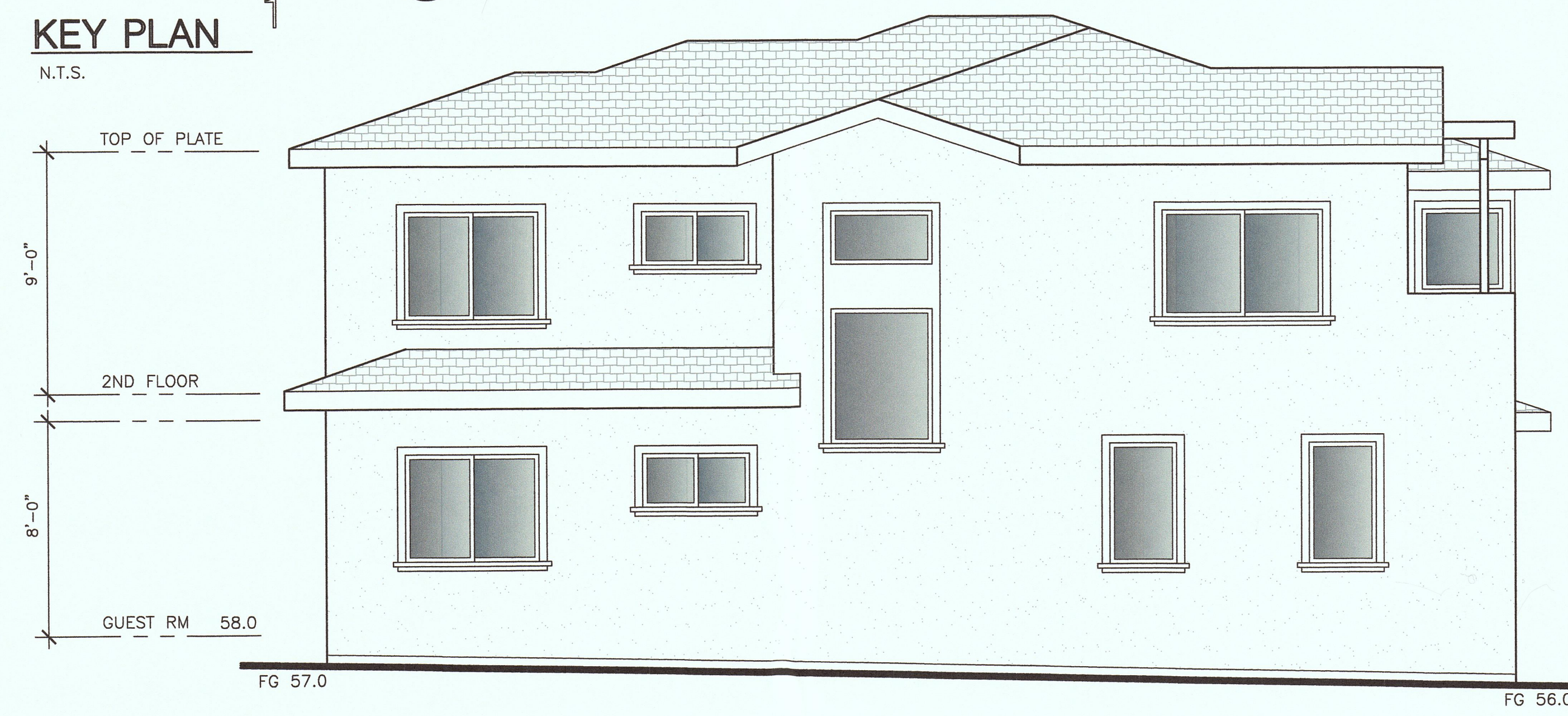
NEW RESIDENCE
 FOR: June Wang
 APN: 047-281-160
 EL GRANADA, SAN MATEO COUNTY, CA

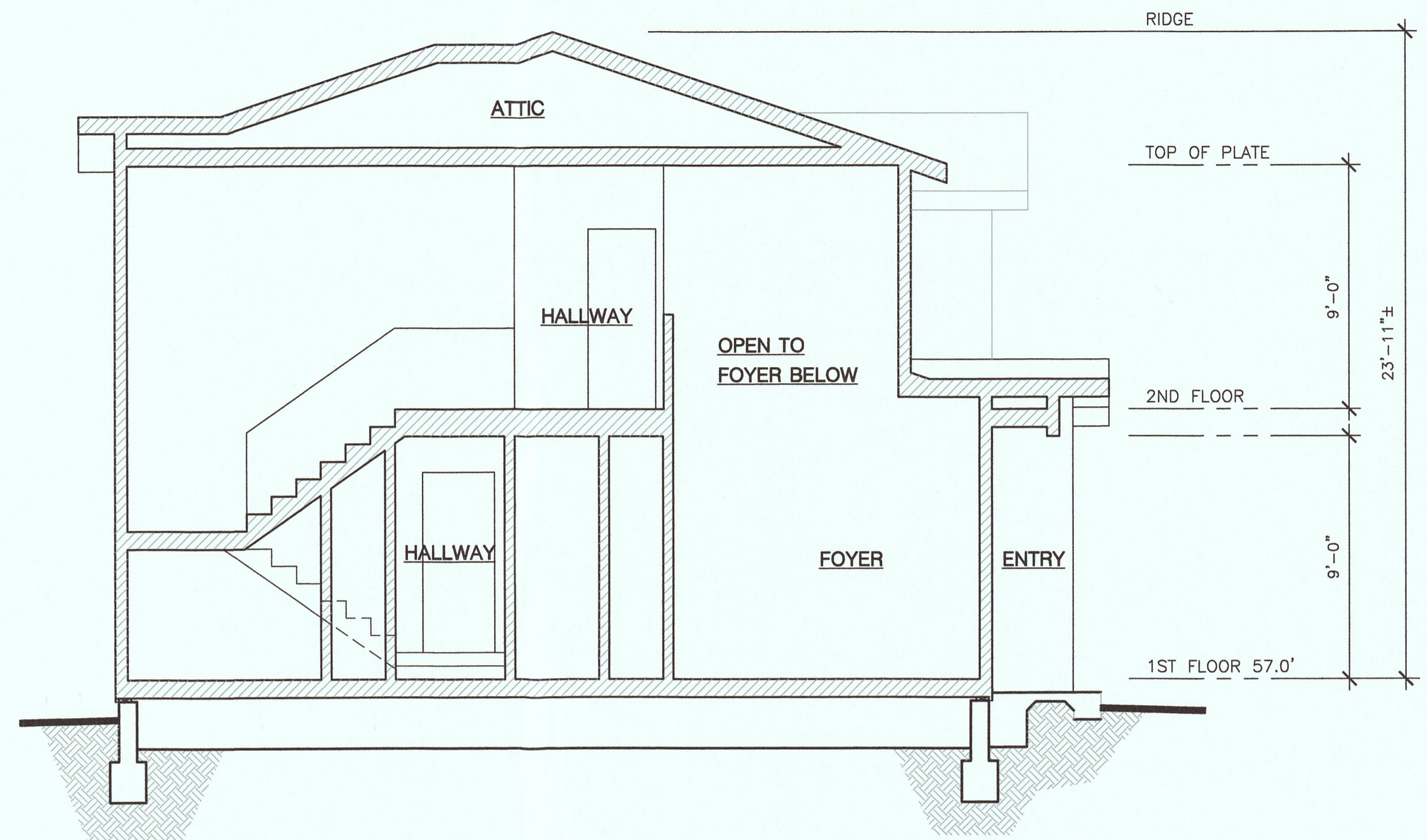
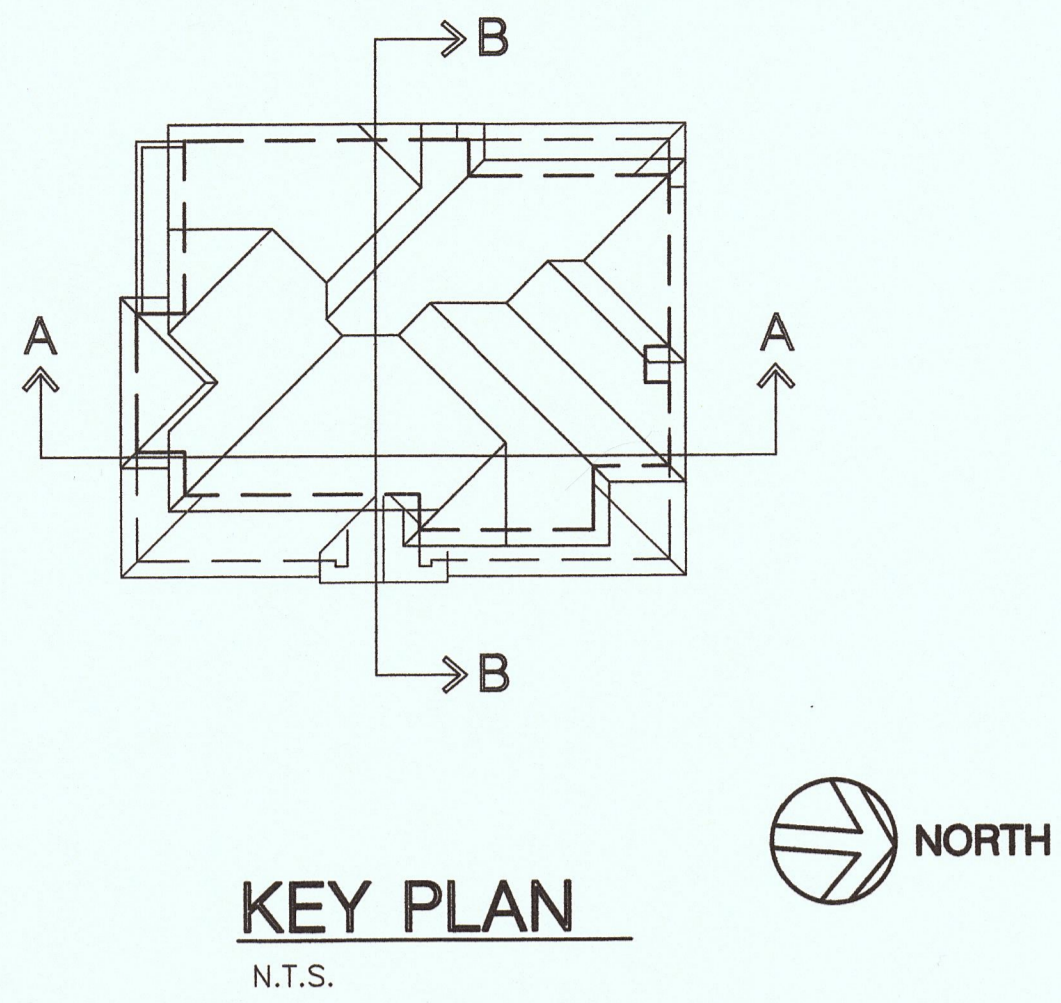
EXTERIOR ELEVATIONS

DATE	2-1-2015
SCALE	1/4"=1'-0"
DRAWN	-
JOB	-
SHEET	-
SK-3	
OF	SHEETS

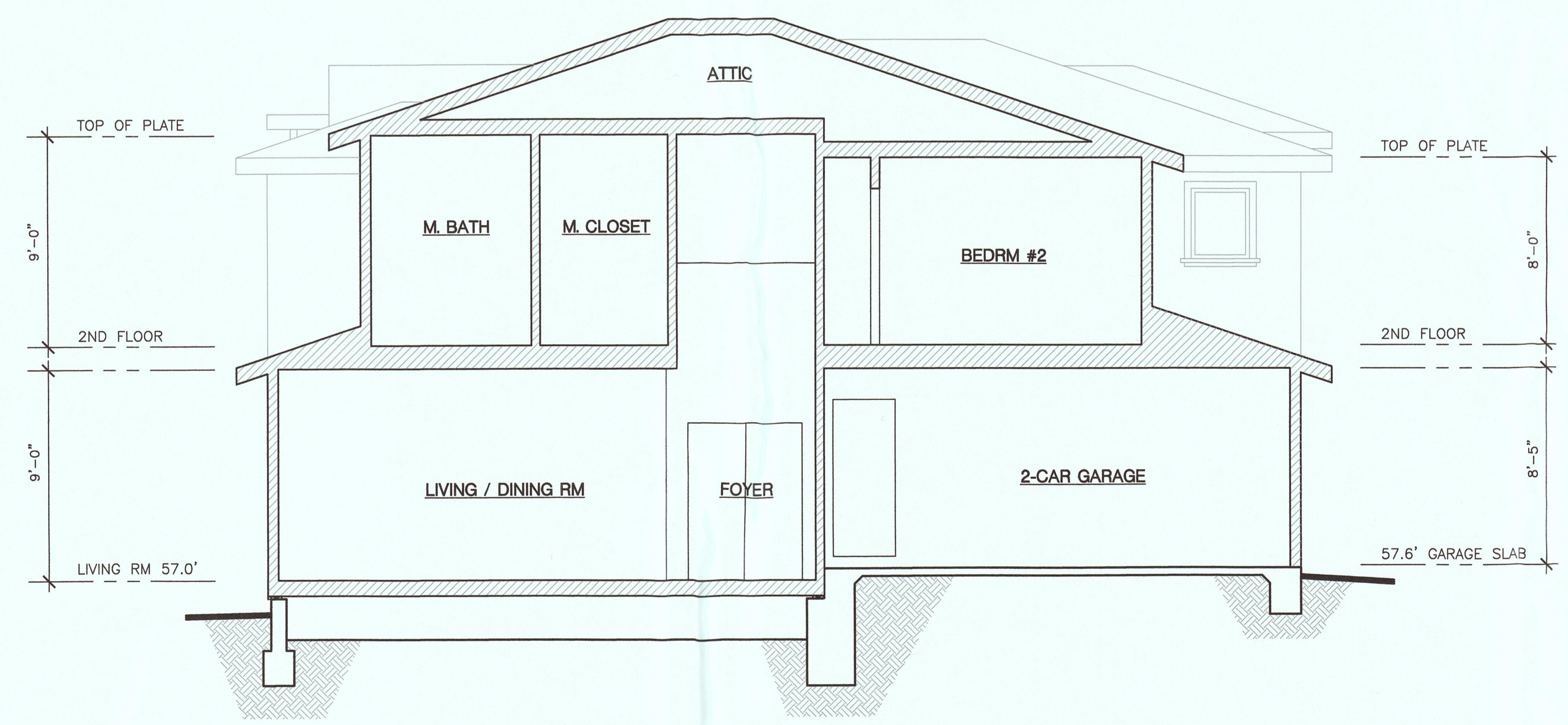


KEY PLAN
N.T.S.

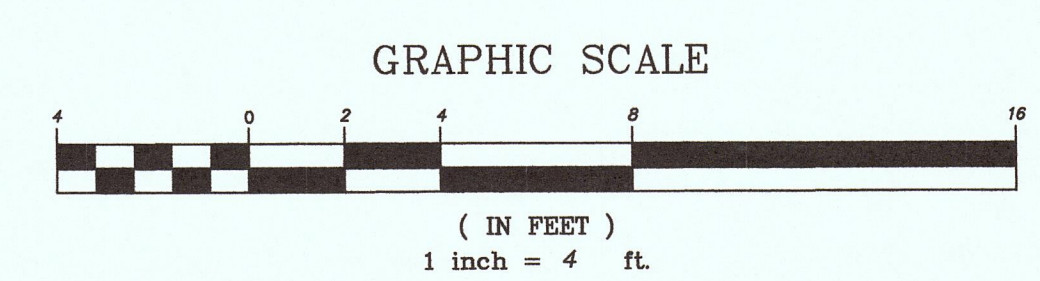




SECTION 'B-B'
SCALE: 1/4" = 1'-0"



SECTION 'A-A'
SCALE: 1/4" = 1'-0"



REVISIONS	
△	CDR/VA 4-7-2016
△	CDR/VA 9-12-2016
△	CDR/VA 9-23-2016
△	CDR 3-24-2017



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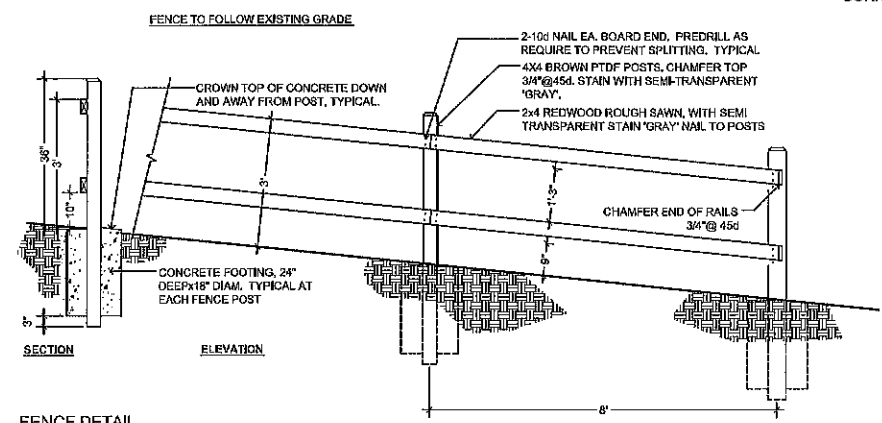
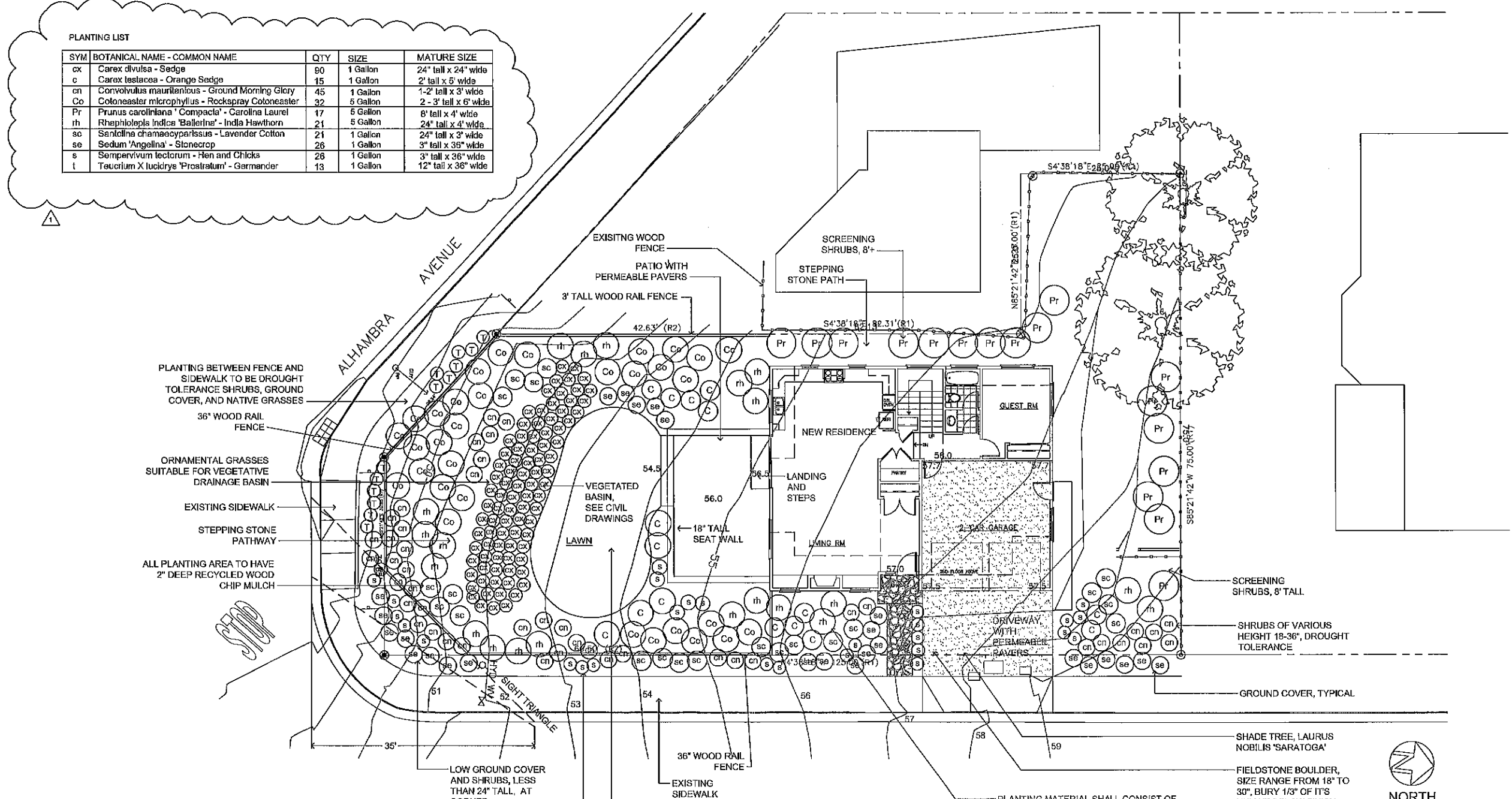
NEW RESIDENCE
FOR: June Wang
APN: 047-281-160
EL GRANADA, SAN MATEO COUNTY, CA

BUILDING SECTIONS

DATE	2-1-2015
SCALE	1/4"=1'-0"
DRAWN	-
JOB	-
SHEET	SK-4
OF SHEETS	OF

PLANTING LIST

SYM	BOTANICAL NAME - COMMON NAME	QTY	SIZE	MATURE SIZE
cx	Carex divulsa - Sedge	80	1 Gallon	24" tall x 24" wide
c	Carex testacea - Orange Sedge	15	1 Gallon	2' tall x 5' wide
cn	Convolvulus mauritanicus - Ground Morning Glory	45	1 Gallon	1-2' tall x 3' wide
Co	Cotoneaster microphyllus - Rockspray Cotoneaster	32	5 Gallon	2 - 3' tall x 6' wide
Pr	Prunus caroliniana 'Compacta' - Carolina Laurel	17	5 Gallon	8' tall x 4' wide
rh	Rhephtolepis indica 'Ballerina' - India Hawthorn	21	5 Gallon	24" tall x 4' wide
sc	Sanicllina chamaecyparissus - Lavender Cotton	21	1 Gallon	24" tall x 3' wide
se	Sedum 'Angellina' - Stonecrop	26	1 Gallon	3" tall x 36" wide
s	Sempervivum lectorum - Hen and Chicks	26	1 Gallon	3" tall x 36" wide
t	Teucrium X lucidrys 'Prostratum' - Garmender	13	1 Gallon	12" tall x 36" wide



FENCE DETAIL
1/2" = 1'-0"

REVISIONS

10/27/16	PLAN CHECK COMMENT
4/24/17	PLAN CHECK COMMENT

ANYI HUANG
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SCHEMATIC LANDSCAPE PLAN

PROJECT ADDRESS:
NEW RESIDENCE
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EL GRANADA, CALIFORNIA

DATE:
3 / 30/2016

SCALE:
1/8" = 1'-0"

DRAWN BY:
AH

PROJECT #
16022

L-1
TOTAL SHEETS: 1

PLN2016-0041