


0.07 0 0.04 0.07 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

1:2,256 

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

December 27, 2017

Luis Perez  
2087 D Street  
Hayward, CA 94541

Dear Mr. Perez:

SUBJECT: Coastside Design Review Recommendation  
Ferdinand Avenue, El Granada  
APN 047-222-240; County File No. PLN 2017-00300

At its meeting on December 14, 2017, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for a design review recommendation to allow construction of a new 2,476 sq. ft. single-family residence and an 842 sq. ft. second dwelling unit over an 879 sq. ft. detached garage on a 8,516 sq. ft. legal parcel (Certificate of Compliance recorded on June 2, 2015), as part of a staff-level Grading Permit for 475 cubic yards (c.y.) of excavation. One (1) significant tree is proposed for removal. This project is also eligible for a Coastal Development Exemption. This project is not appealable to the California Coastal Commission.

The CDRC was unable to make the findings for a design review recommendation of approval based on certain design deficiencies. In order to resolve these deficiencies in the project's design, a more thorough review of the "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" manual is required. As such, requirements from the CDRC for further project redesign are as follows:

1. Redesign the structure to conform to the existing topography by stepping it down the existing grade. Reference the Standards for Design for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20(D) ELEMENTS OF DESIGN; 1. Building Mass, Shape, and Scale; a. *Relationship to Existing Topography* (p. 10).
2. Reduce the massing of the entire structure by revising the building dimensions and shape. Reference the Standards for Design for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20(D) ELEMENTS OF DESIGN; 1. Building Mass, Shape, and Scale; b. *Neighborhood Scale* (p. 10).
3. Revise the window openings to be more consistent with other windows on the structure and with other homes in the surrounding neighborhood. Reference the Standards for Design for One-Family and Two-Family Residential Development in the Midcoast,



Section 6565.20(D) ELEMENTS OF DESIGN; 2. Architectural Styles and Features;  
b. *Openings* (p. 15).

4. Reduce the massing of the roof (Example, revise roof design to hip roof). Reference the Standards for Design for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20(D) ELEMENTS OF DESIGN; 3. Roof Design; a. *Massing and Design of Roof Forms* (p. 18).
5. Revise the landscaping plan from a linear and structured design to a design that is less structured, more organic, and more harmonious with the neighborhood and site. Reference the Standards for Design for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20(F) LANDSCAPING, PAVED AREAS, FENCES, LIGHTING, AND NOISE; 1. Landscaping (p. 22).
6. Reduce the amount of paved areas. Reference the Standards for Design for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20(F) LANDSCAPING, PAVED AREAS, FENCES, LIGHTING, AND NOISE; 2. Paved Areas (p. 23).
7. The CDRC also recommends the following:
  - a. Enclose the external staircase for the garage and install inset sconce light fixtures.
  - b. Provide fencing details for the left/north elevation and include style, color, and height of fencing.
  - c. Provide a cut sheet for the garage doors.
  - d. Provide a material sample for the El Dorado stone limestone veneer.
  - e. Provide cut sheets or material samples for the terrace pavers and the driveway pavers.
  - f. Include two redwood trees in the landscape plan to replace the existing cedar tree if it requires removal.
  - g. Consider removing the external chimney and replace with a vent. Alternatively, consider applying the stone veneer motif to the chimney.
  - h. Consider using a different color or material for the Left/North elevation of the main house to break up massing.

As such, you were presented with the following available options at the end of the CDRC's deliberation of the project: (i) request for a decision from the CDRC on the plans presented or (ii) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You

chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

Please contact Carmelisa Morales, Project Planner, at 650/363-1873, if you have any questions.

To provide feedback, please visit the Department's Customer Survey at the following link:  
<http://planning.smcgov.org/survey>.

Sincerely,



Dennis P. Aguirre, Design Review Officer

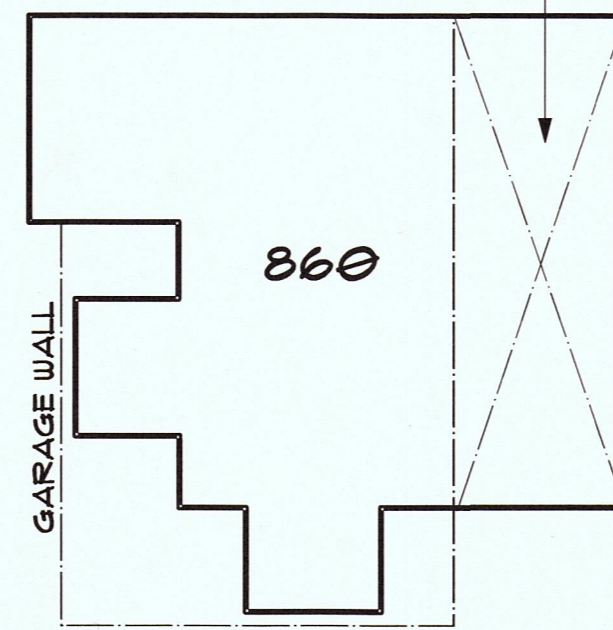
DPA:CM:pac - CJMBB0768\_WPN.DOCX

cc: Stuart Grunow, Member Architect  
Chris Johnson, El Granada Community Representative  
Luis Perez, Property Owner  
Augustine Amaral, Interested Member of the Public  
Wendy Costello, Interested Member of the Public  
James Welton, Interested Member of the Public  
Douglas James, Interested Member of the Public

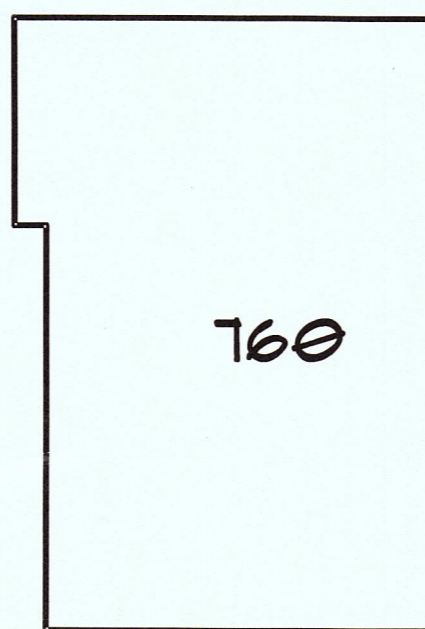
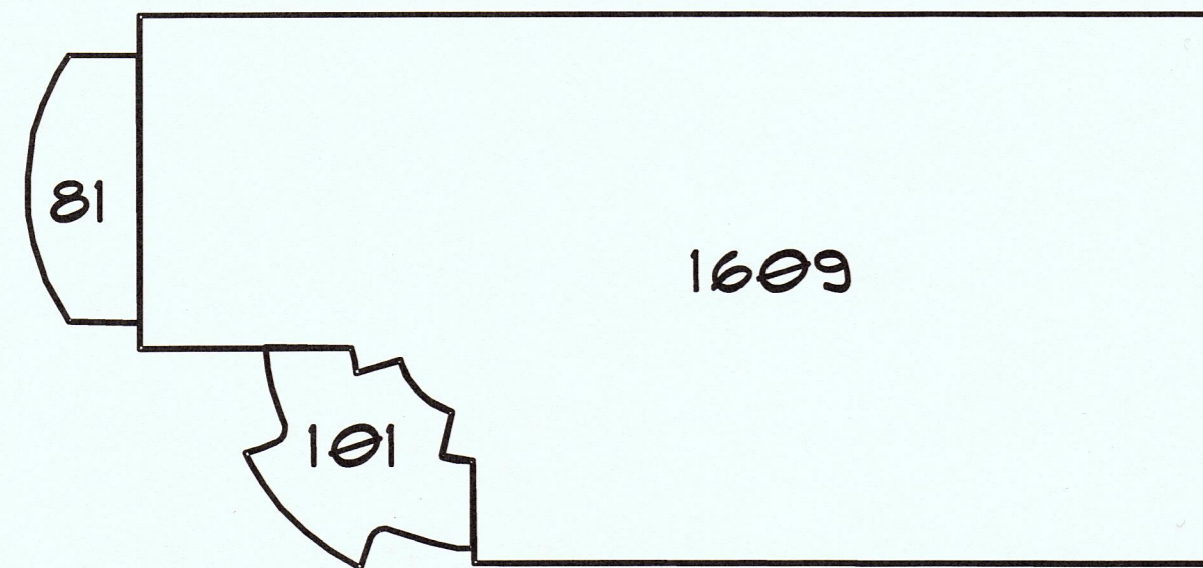


2ND FLOOR SQ. FT. PLAN

260 SQ FT OF GUEST HOUSE FLOOR OVER CRAWL SPACE THAT COUNTS AS PROPERTY COVERAGE



1ST FLOOR SQ. FT. PLAN



ALL CONSTRUCTION SHALL CONFORM TO:  
 2016 CALIFORNIA RESIDENTIAL CODE  
 2016 CALIFORNIA BUILDING CODE  
 2016 CALIFORNIA MECHANICAL CODE  
 2016 CALIFORNIA PLUMBING CODE  
 2016 CALIFORNIA FIRE CODE  
 2016 CALIFORNIA ELECTRICAL CODE  
 2016 CALIFORNIA ENERGY CODE  
 2016 CALGREEN BUILDING CODE STANDARDS

OCCUPANCY GROUP: R3-U  
 TYPE OF CONSTRUCTION: TYPE V-B  
 SCOPE OF WORK: NEW RESIDENCE

UNDERGROUND ELECTRICAL SERVICE SHALL BE PROVIDED IN ALL NEW CONSTRUCTION.

UNDERGROUND SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE PG&E CO. ELECTRIC & GAS REQUIREMENTS, SECT. 5, ELECTRIC SERVICE UNDERGROUND (ORD. C-14-101 PART), 2010: ORD. 1-08 2(PART), 2008) PER MUNICIPAL CODE SECT. 14.04.010 (A).

CLEANOUTS IN BUILDING SEWERS SHALL BE PROVIDED IN ACCORDANCE WITH THE RULES, REGULATIONS AND ORDINANCES OF THE CITY/COUNTY. ALL CLEANOUTS SHALL BE MAINTAINED WATERTIGHT.

THIS NEW RESIDENCE WILL REQUIRE AUTOMATIC FIRE SPRINKLERS. CONTRACTOR MUST HAVE A C-16 LICENSE TO INSTALL

PLANNING DEPARTMENT: SMC0  
 PLANNER WHO GAVE THE INFORMATION: STAFF  
 ZONING: R-1/S-11/DR/CD  
 A.P.N. # 041-222-240  
 PERSON WHO CHECKED THE REGULATIONS

SITE COVERAGE	FLOOR AREA	MAIN HOUSE	GUEST HOUSE	SQUARE FOOTAGE	AREA
X	X	X		1,609	FIRST FLOOR MAIN HOUSE
X	X			867	2ND FLOOR MAIN HOUSE

X	X	X		760	GARAGE
---	---	---	--	-----	--------

X				81	FRONT TERRACE
X				101	ENTRY TERRACE
X				32	2ND FLOOR MAIN HOUSE BALCONY

X		X		860	GUEST HOUSE: 2ND FLOOR
X			X	260	GUEST HOUSE: PORTION THAT IS OVER THE GARAGE THAT COUNTS AS PROPERTY COVERAGE

2,416	MAIN HOUSE WITHOUT GARAGE
860	GUEST HOUSE WITHOUT GARAGE
866	35% OF MAIN HOUSE

2,843	OUR SITE COVERAGE
35%	PERCENTAGE OF SITE COVERAGE
8,516	LOT SIZE
2,980	MAXIMUM SITE COVERAGE ALLOWED

4,096	OUR TOTAL FLOOR AREA
53%	PERCENTAGE OF FLOOR AREA ALLOWED
8,516	LOT SIZE
4,513	MAXIMUM FLOOR AREA ALLOWED

**LIST OF DRAWINGS**  
FOR DESIGN REVIEW

A1.1	TITLE PAGE
A1.2	SITE PLAN & ROOF PLAN
A1.3	FIRE PROTECTION NOTES, SITE NOTES & C.O.P.

A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN

A3.1	ELEVATIONS
A3.2	ELEVATIONS
A3.3	SECTIONS

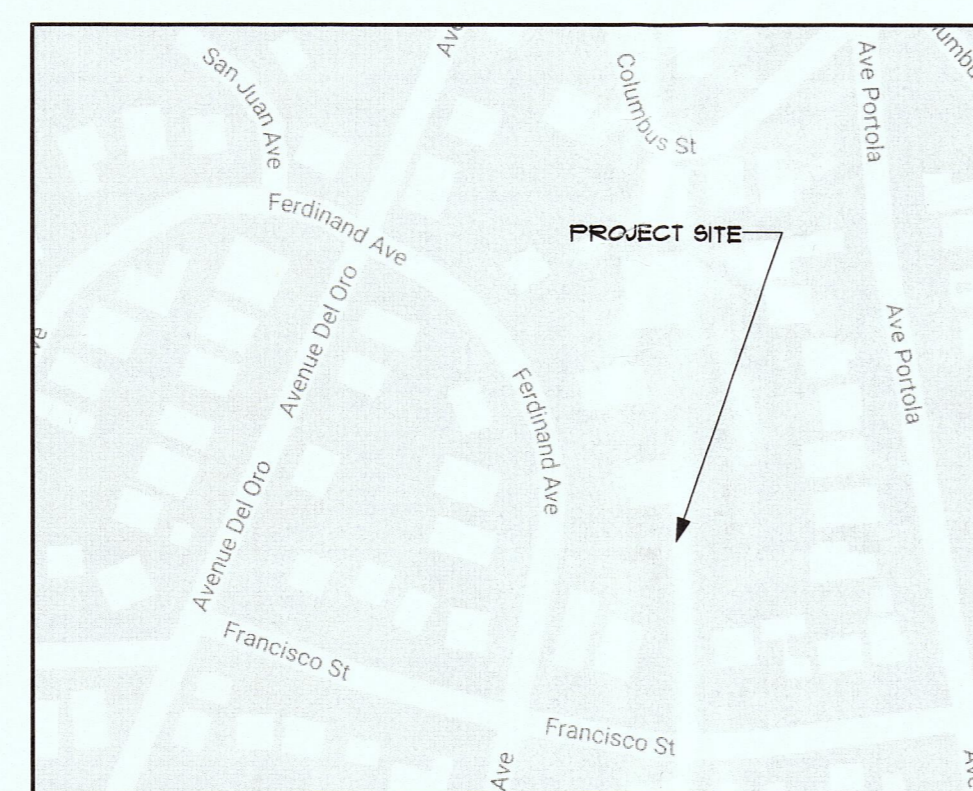
SU-1	SURVEY BY BGT LAND SURVEYING
L1.0	LANDSCAPE PLAN
L2.0	TREE PLAN
C-1	GRADING AND DRAINAGE PLAN
C-2	EROSION CONTROL PLAN
BMP1	BETTER MANAGEMENT PRACTICES

RECEIVED  
 MAY 14 2018  
 San Mateo County  
 Planning Division

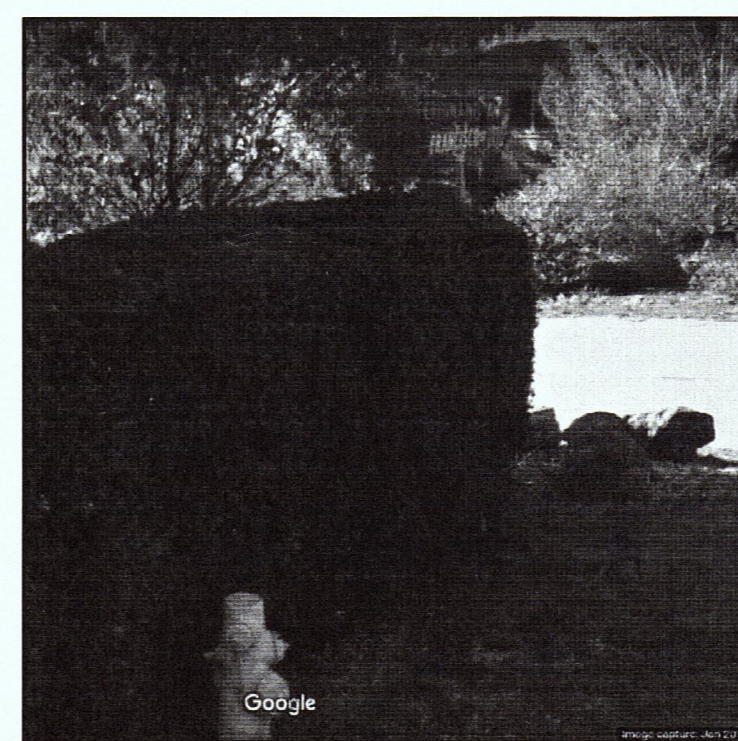
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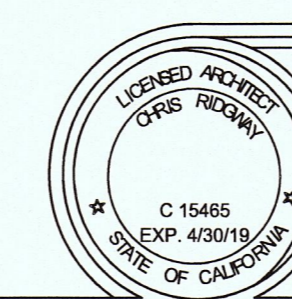
LOCATION MAP PROJECT SITE



VICINITY MAP



FIRE HYDRANT ON FERDINAND & FRANCISCO  
 (SEE SITE PLAN ON SHEET A1.2 FOR NOTE)



**CHRIS RIDGWAY ARCHITECT, INC.**  
 EMAIL: CRARCHITECT@COASTSIDE.NET  
 PH: 650.622.6301 WEB SITE: CRARCHITECT.NET  
 610 FOPLAR STREET, HALF MOON BAY, CA. 94019

FERDINAND AVE. EL GRANADA  
 A.P.N. 041-222-240  
**Perez, Luis & Lorena**  
 NEW RESIDENCE AND GUEST HOUSE

DATE: 3/22/18 SHEET: A1.1

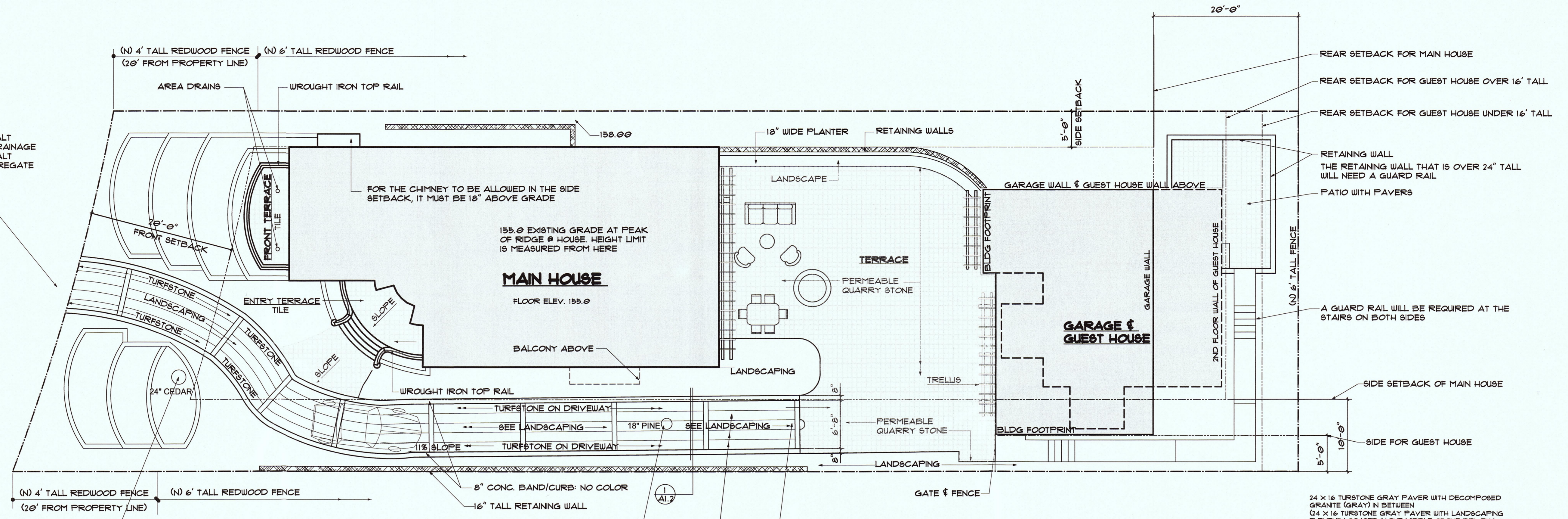
CONSTRUCT COUNTY STANDARD ASPHALT DRIVEWAY & PATH APPROACH WITH DRAINAGE SWALE WITH A MINIMUM OF 2 INCH ASPHALT CONCRETE OVER 6 INCH CLASS 2 AGGREGATE BASE WITH A SLIGHT SWALE

WE WOULD LIKE TO KEEP THIS CEDAR TREE. HOWEVER THE DRIVEWAY GRADING MAY DISTURB ITS ROOT. AN ARBORIST SHALL INSPECT THE TREE BEFORE CONSTRUCTION, AND ALSO WHEN THE ROUGH GARDEN IS DONE. IF THEY DETERMINE THAT THE TREE WILL BE JEOPARDY, THEN THEY MAY DECIDE TO REMOVE THE TREE AND ADD 2 NEW TREES AND THE DRIVEWAY CAN BE STRAIGHTENED OUT

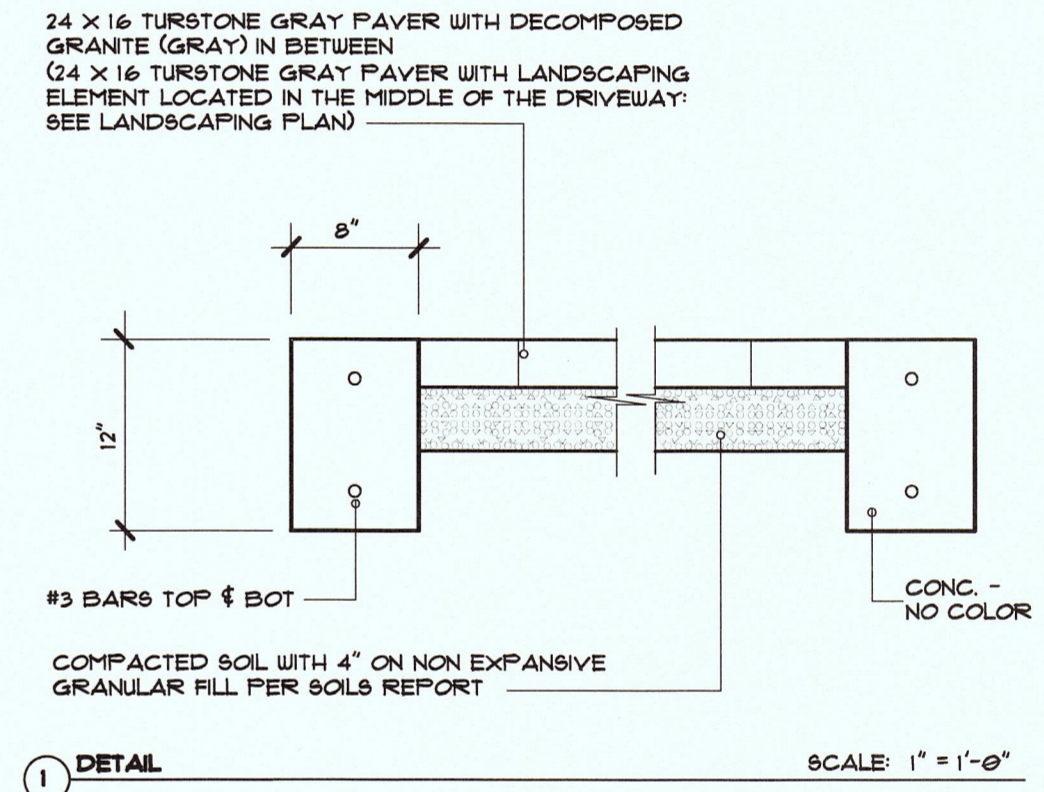
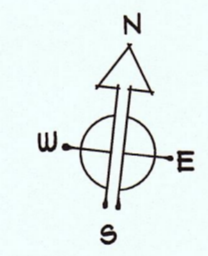
FOR UTILITIES: SEE SURVEY FOR INFORMATION AND APPROXIMATE LOCATIONS

BENCHMARK: 145.01 AS BASED ON THE MAGSPIKE AND STAINLESS STEEL WASHER

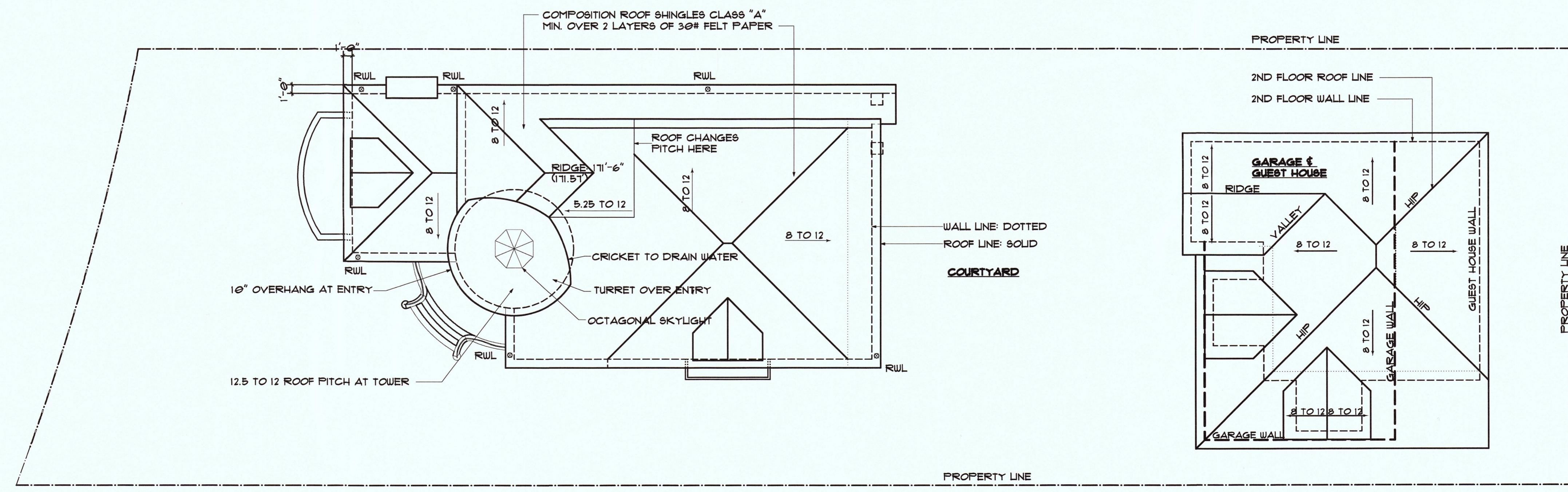
EXISTING FIRE HYDRANT IS APPROXIMATELY 163' AWAY FROM OUR CLOSEST BLDG. CORNER HYDRANT LOCATED OF FERDINAND AND FRANCISCO (SEE SHEET A1.1 FOR IMAGE)



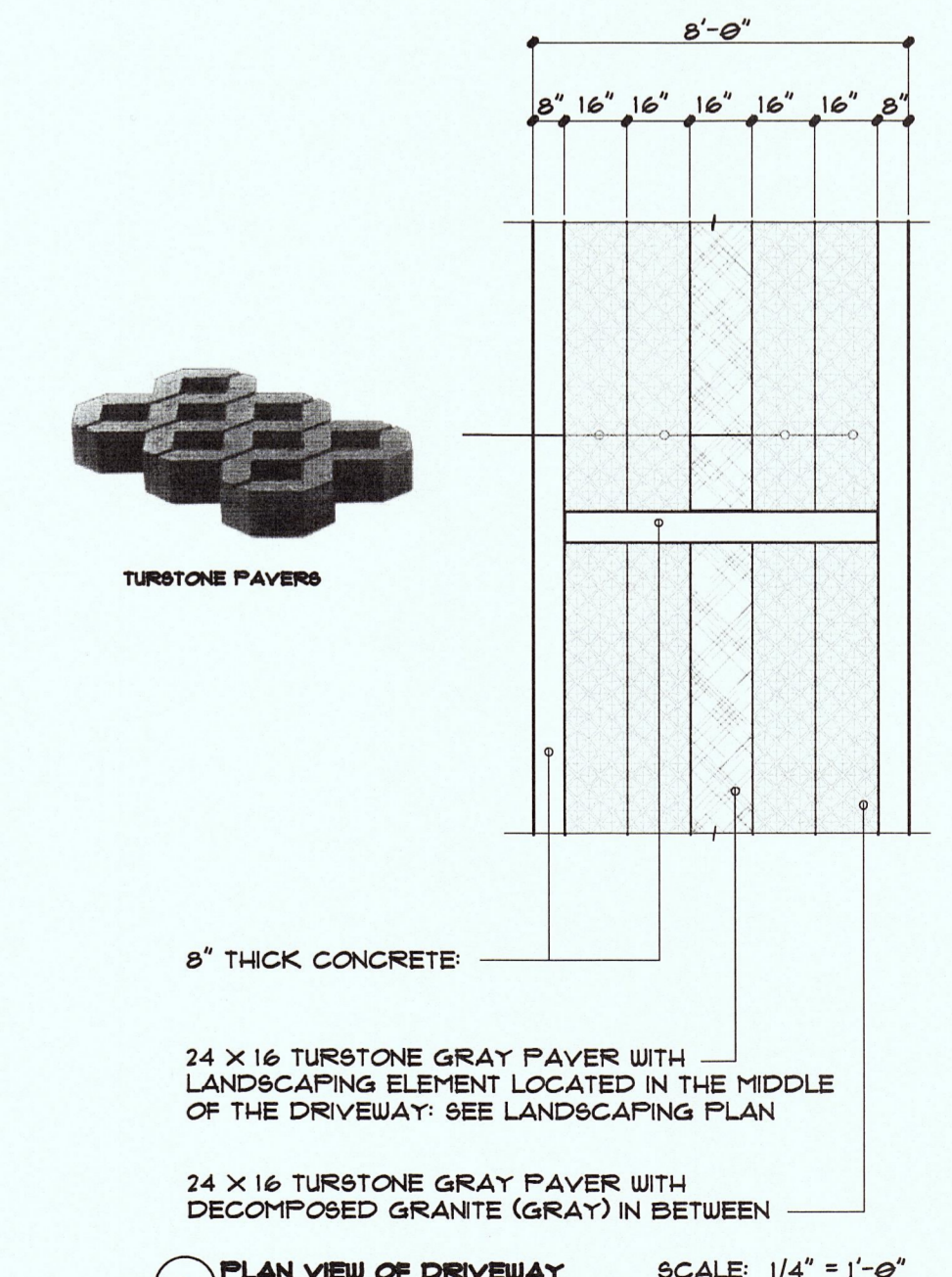
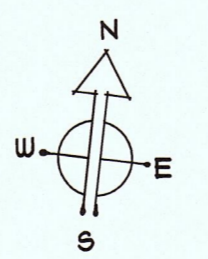
**SITE PLAN** SCALE 1/8" = 1'-0"



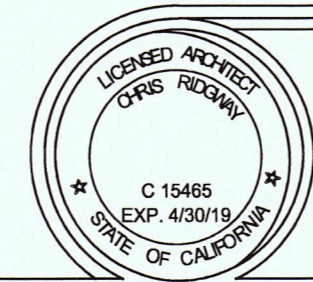
**1 DETAIL** SCALE: 1" = 1'-0"



**ROOF PLAN** SCALE 1/8" = 1'-0"



**2 PLAN VIEW OF DRIVEWAY** SCALE: 1/4" = 1'-0"



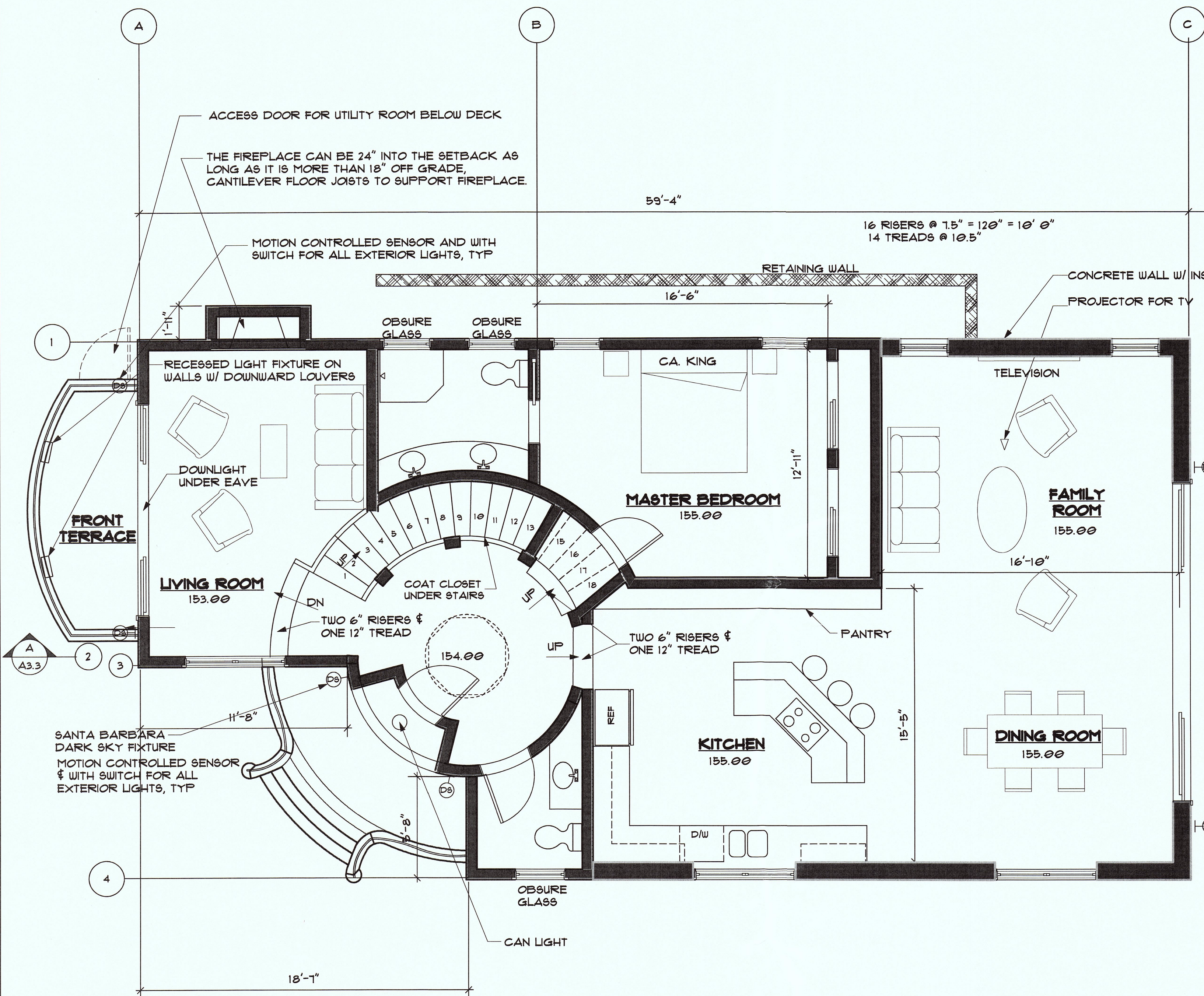
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 PH: 650.622.6301 WEB SITE: CRARCHITECT.NET  
 610 POPLAR STREET, HALF MOON BAY, CA. 94019

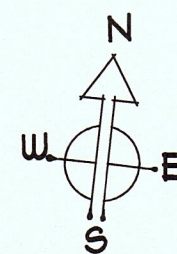
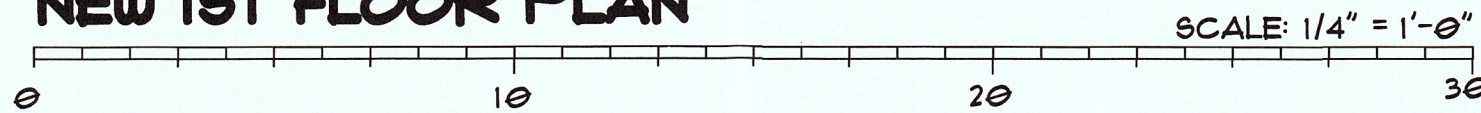
FERDINAND AVE. EL GRANADA  
 A.P.N. 047-222-240  
**Perez, Luis & Lorena**  
 NEW RESIDENCE AND GUEST HOUSE

DATE: 3/22/18  
 SHEET: **A1.2**





**NEW 1ST FLOOR PLAN**

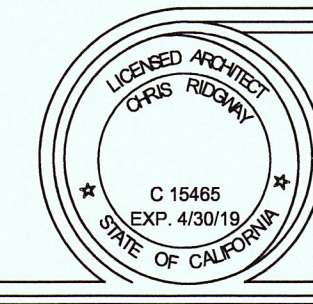
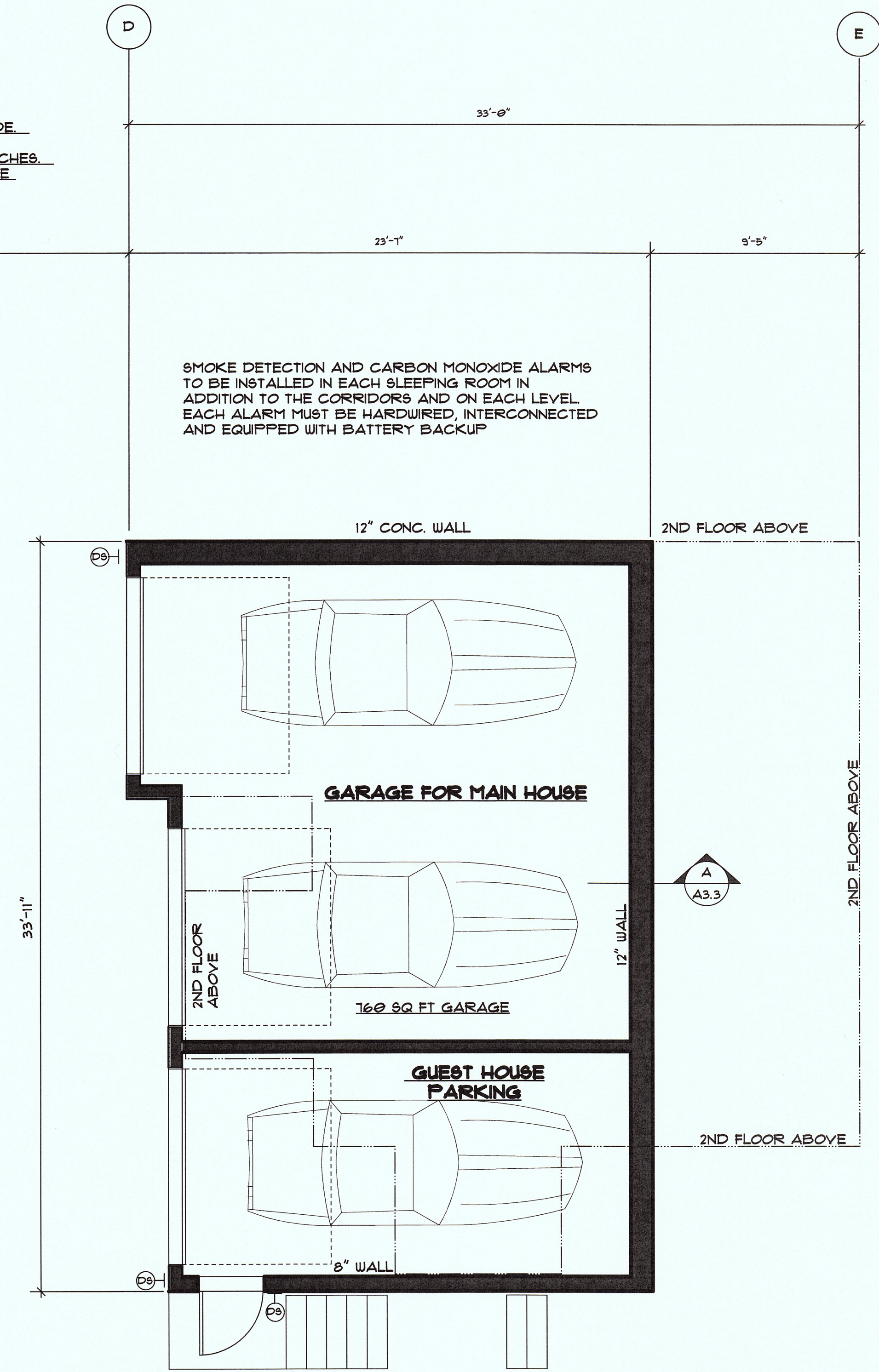


**IDENTIFY RESCUE WINDOWS IN EA. BEDROOM & VERIFY THAT THEY MEET ALL REQUIREMENTS**

ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, 5.0 SQ. FT. ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. FINISHED SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR. SEE OTHER CODE RELATED ITEMS ON SHEET A1.2

SMOKE DETECTION AND CARBON MONOXIDE ALARMS TO BE INSTALLED IN EACH SLEEPING ROOM IN ADDITION TO THE CORRIDORS AND ON EACH LEVEL. EACH ALARM MUST BE HARDWIRED, INTERCONNECTED AND EQUIPPED WITH BATTERY BACKUP.

**COURTYARD AND DRIVEWAY**  
SEE SITE PLAN



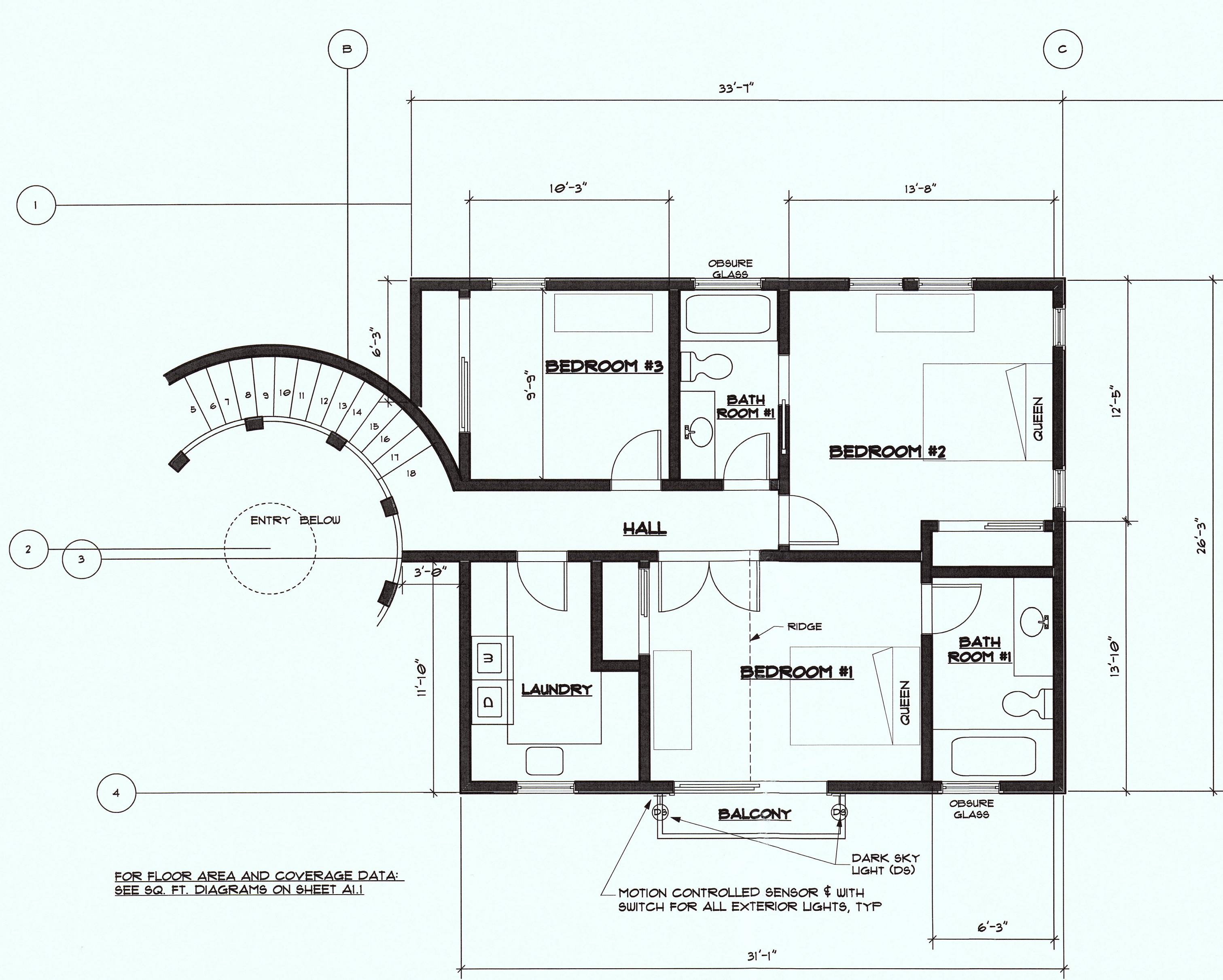
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NEW RESIDENCE AND GUEST HOUSE

DATE 3/22/18  
SHEET **A2.1**





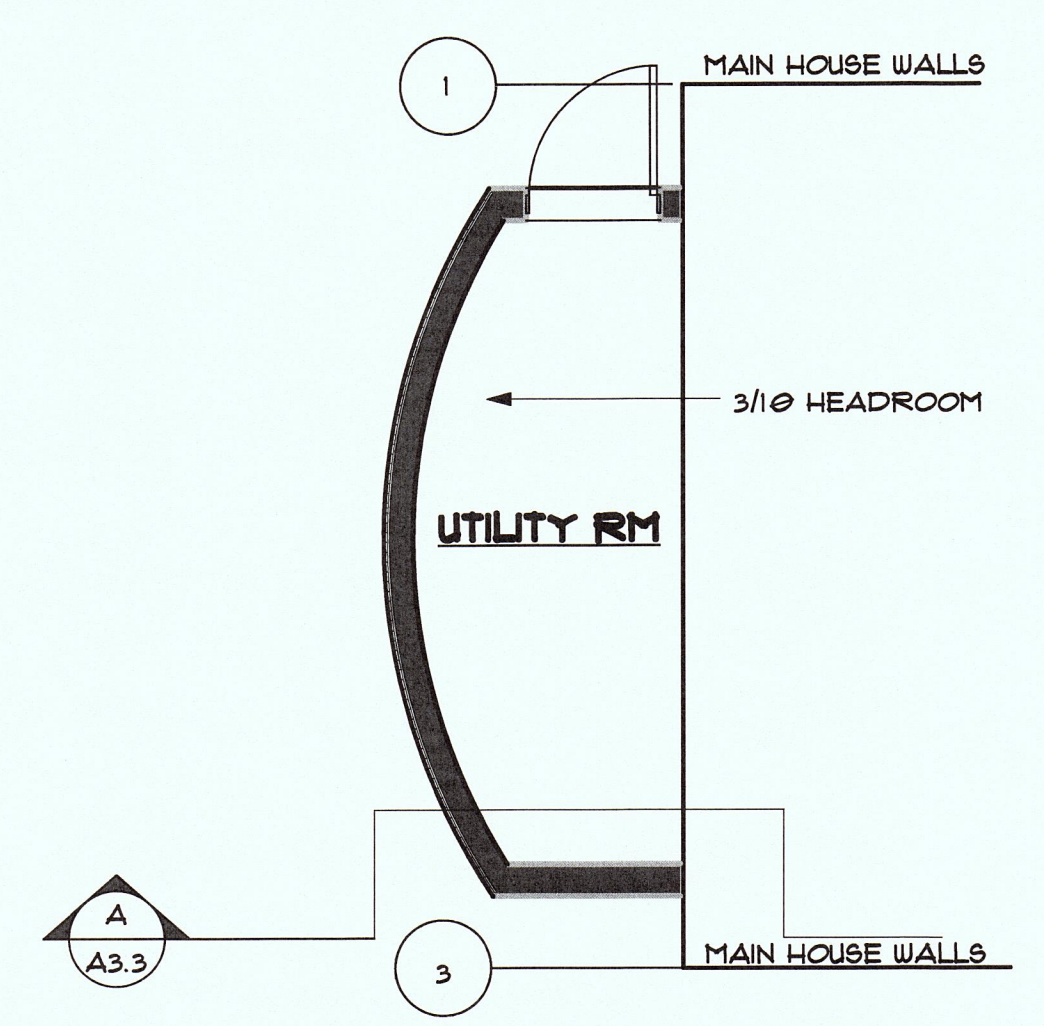
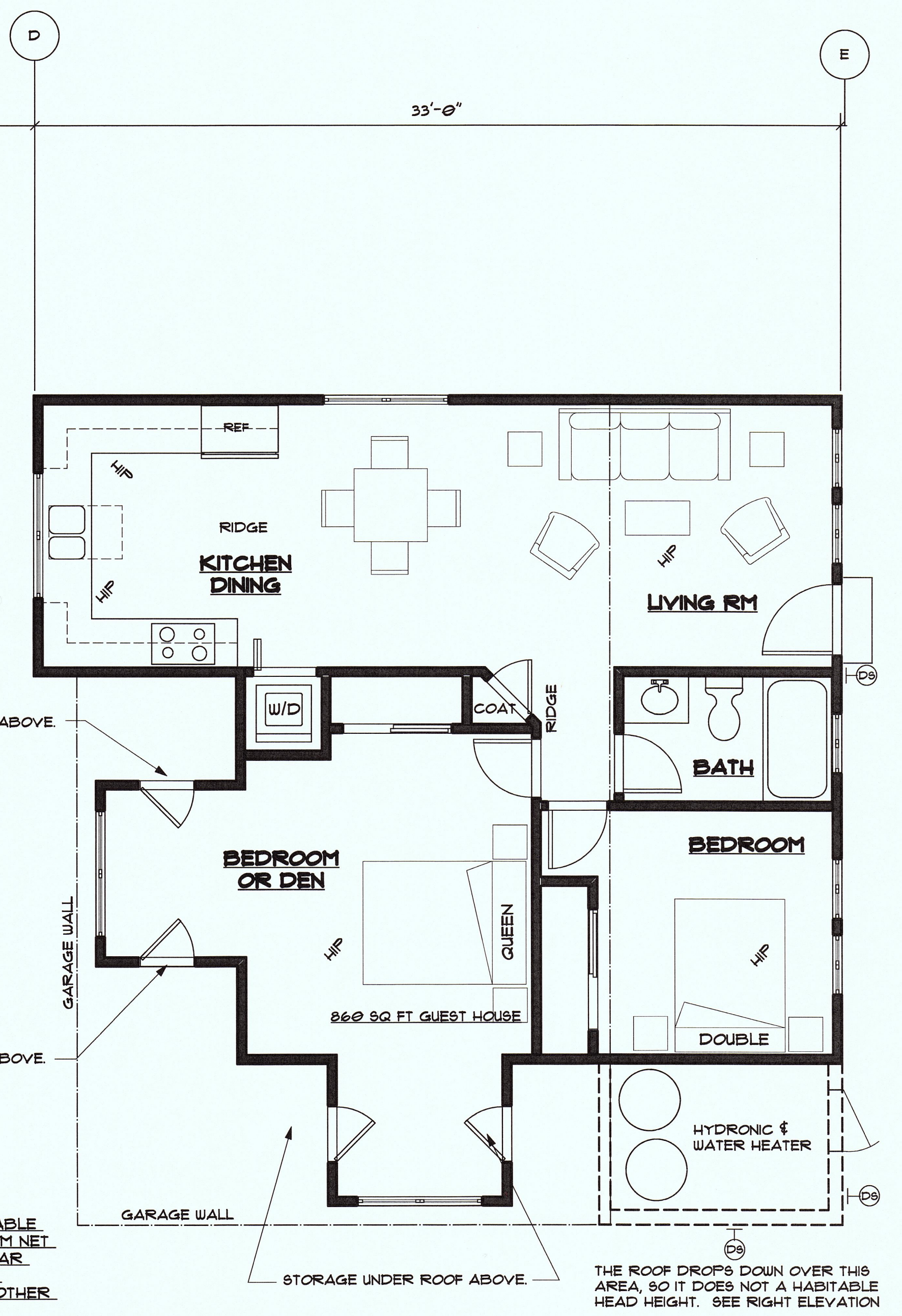
FOR FLOOR AREA AND COVERAGE DATA:  
SEE SQ. FT. DIAGRAMS ON SHEET A1.1

SMOKE DETECTION AND CARBON MONOXIDE ALARMS TO BE INSTALLED IN EACH SLEEPING ROOM IN ADDITION TO THE CORRIDORS AND ON EACH LEVEL. EACH ALARM MUST BE HARDWIRED, INTERCONNECTED AND EQUIPPED WITH BATTERY BACKUP.

24" X 36" FLAT GLASS SKYLIGHT THAT SLOPES WITH ROOF.  
STORAGE UNDER ROOF ABOVE. THE DOOR IS ONLY ABOUT 36" TALL.

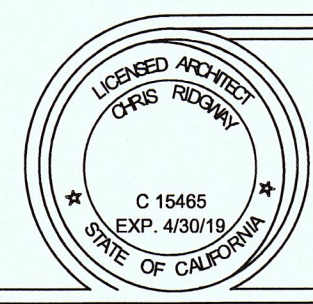
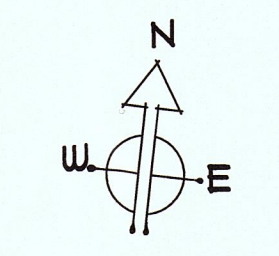
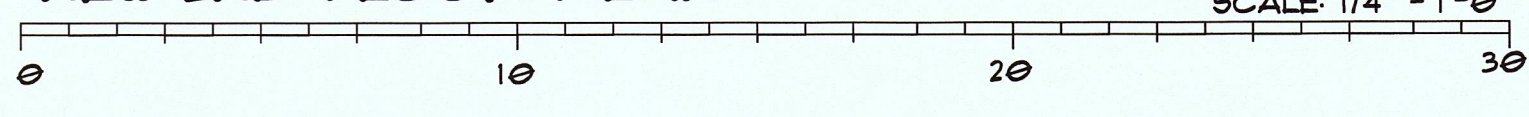
IDENTIFY RESCUE WINDOWS IN EA. BEDROOM & VERIFY THAT THEY MEET ALL REQUIREMENTS

ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, 5.0 SQ. FT. ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. FINISHED SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR. SEE OTHER CODE RELATED ITEMS ON SHEET A1.3



**UTILITY ROOM @ FRONT TERRACE**  
SCALE: 1/4" = 1'-0"

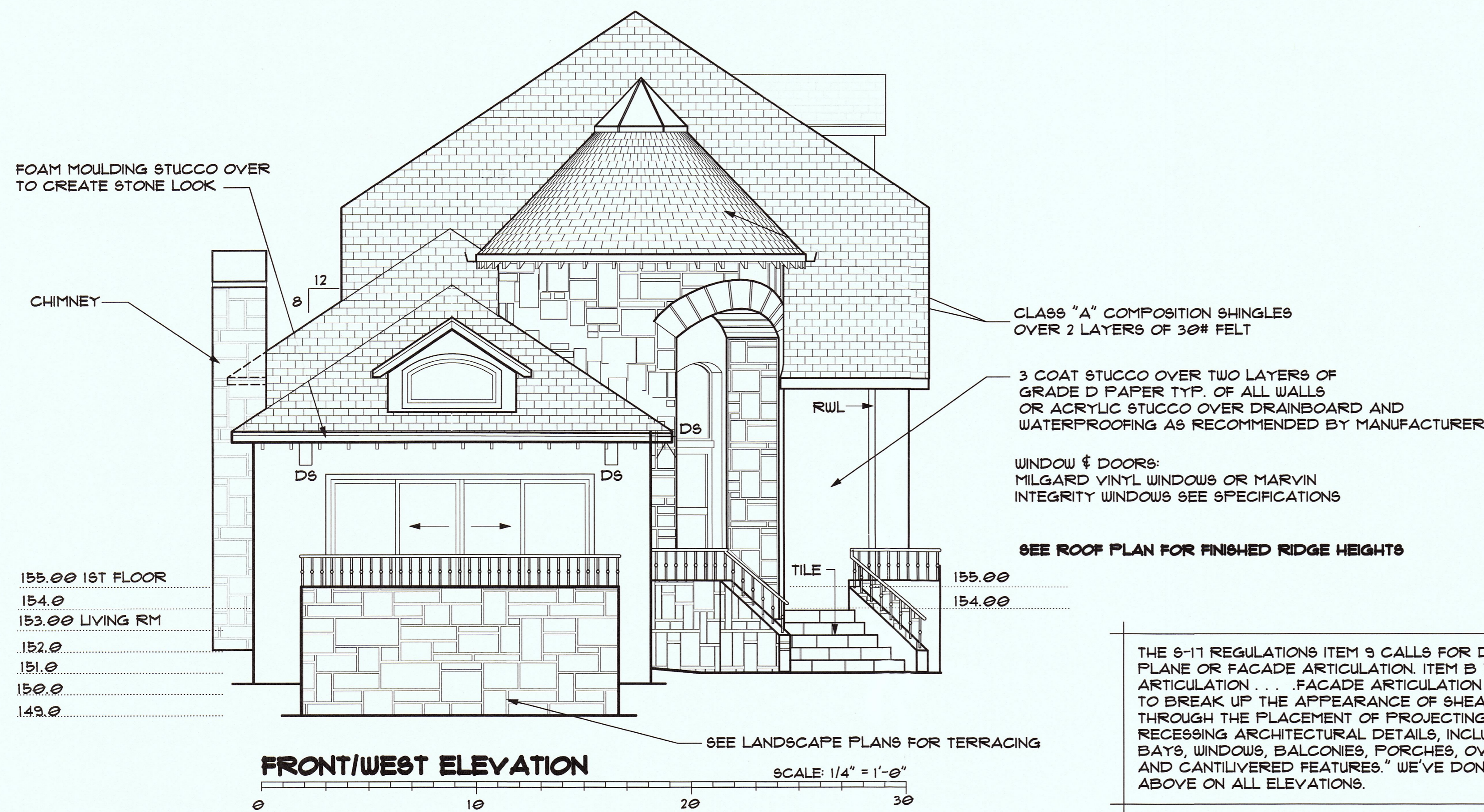
**NEW 2ND FLOOR PLAN**



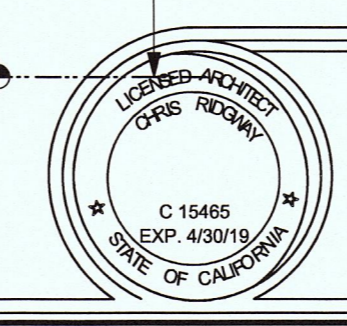
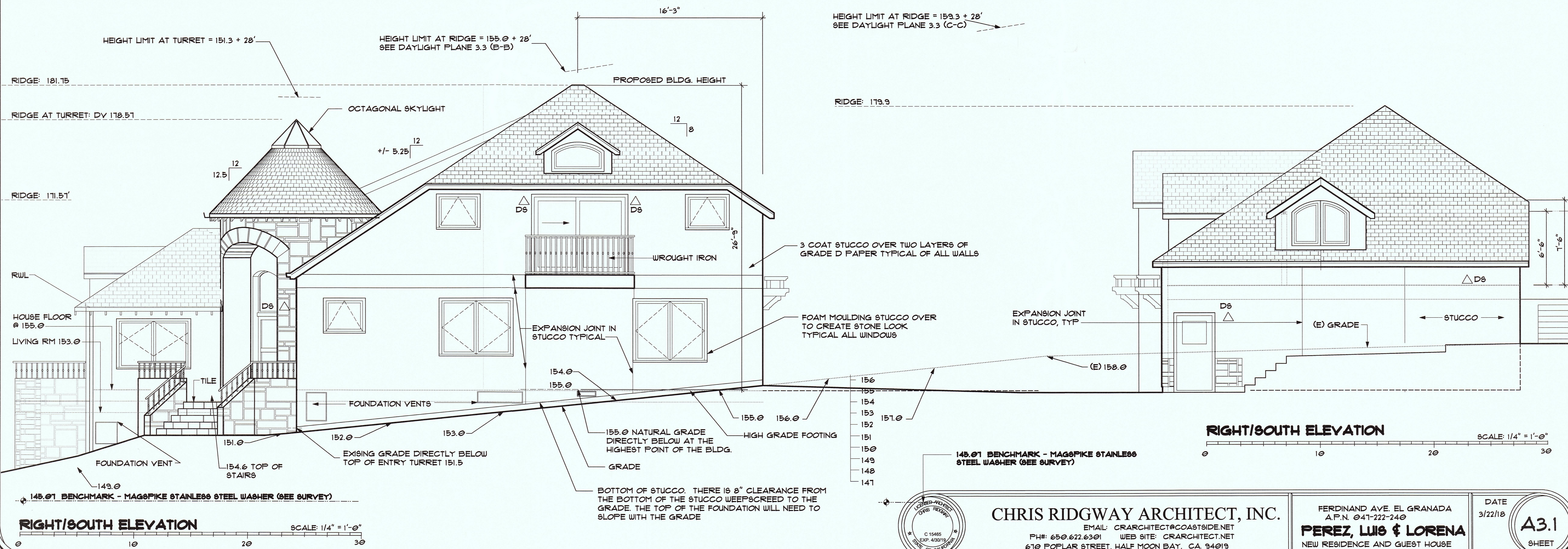
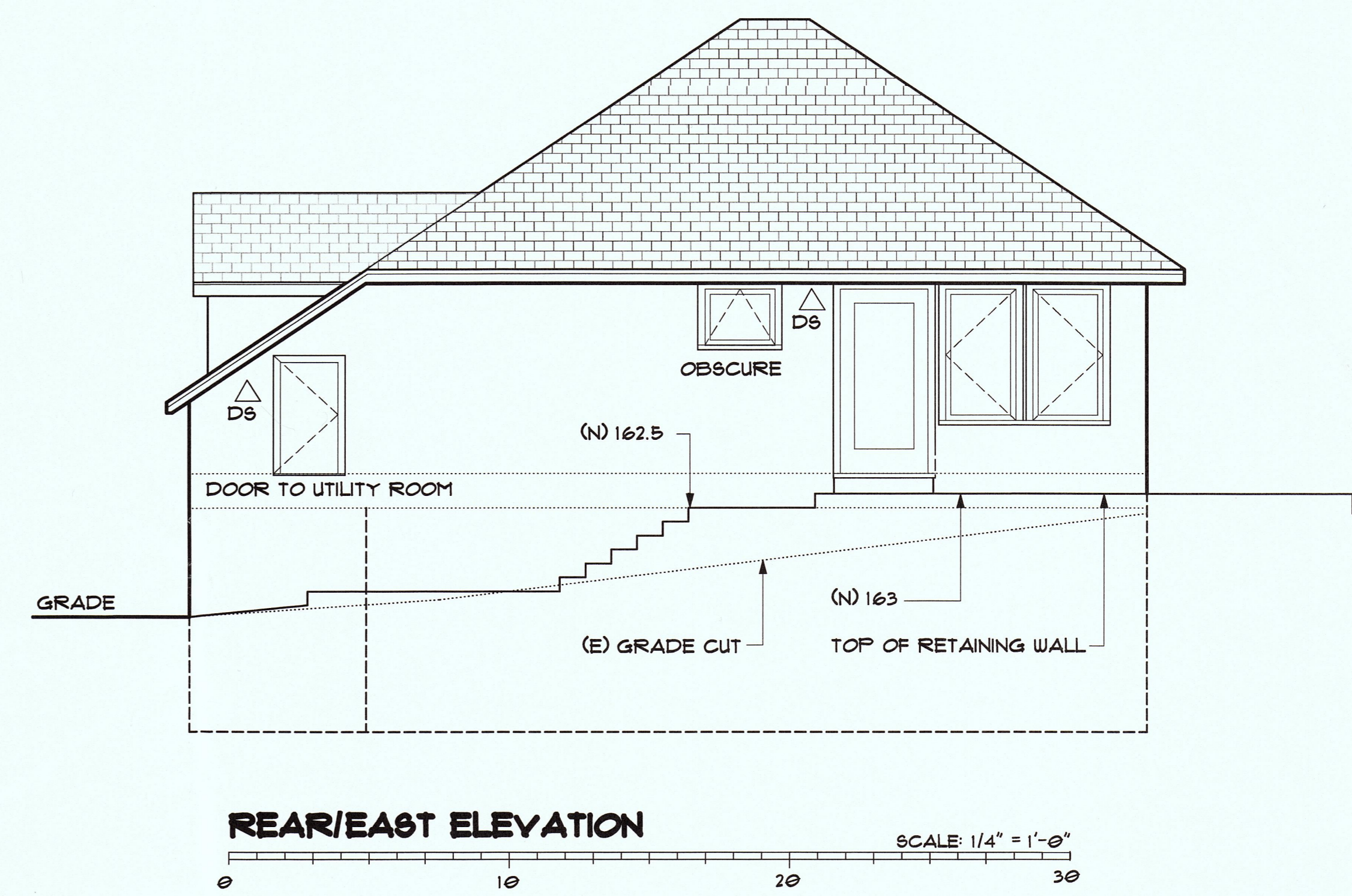
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**Perez, Luis & Lorena**  
NEW RESIDENCE AND GUEST HOUSE

DATE: 3/22/18  
SHEET: **A2.2**



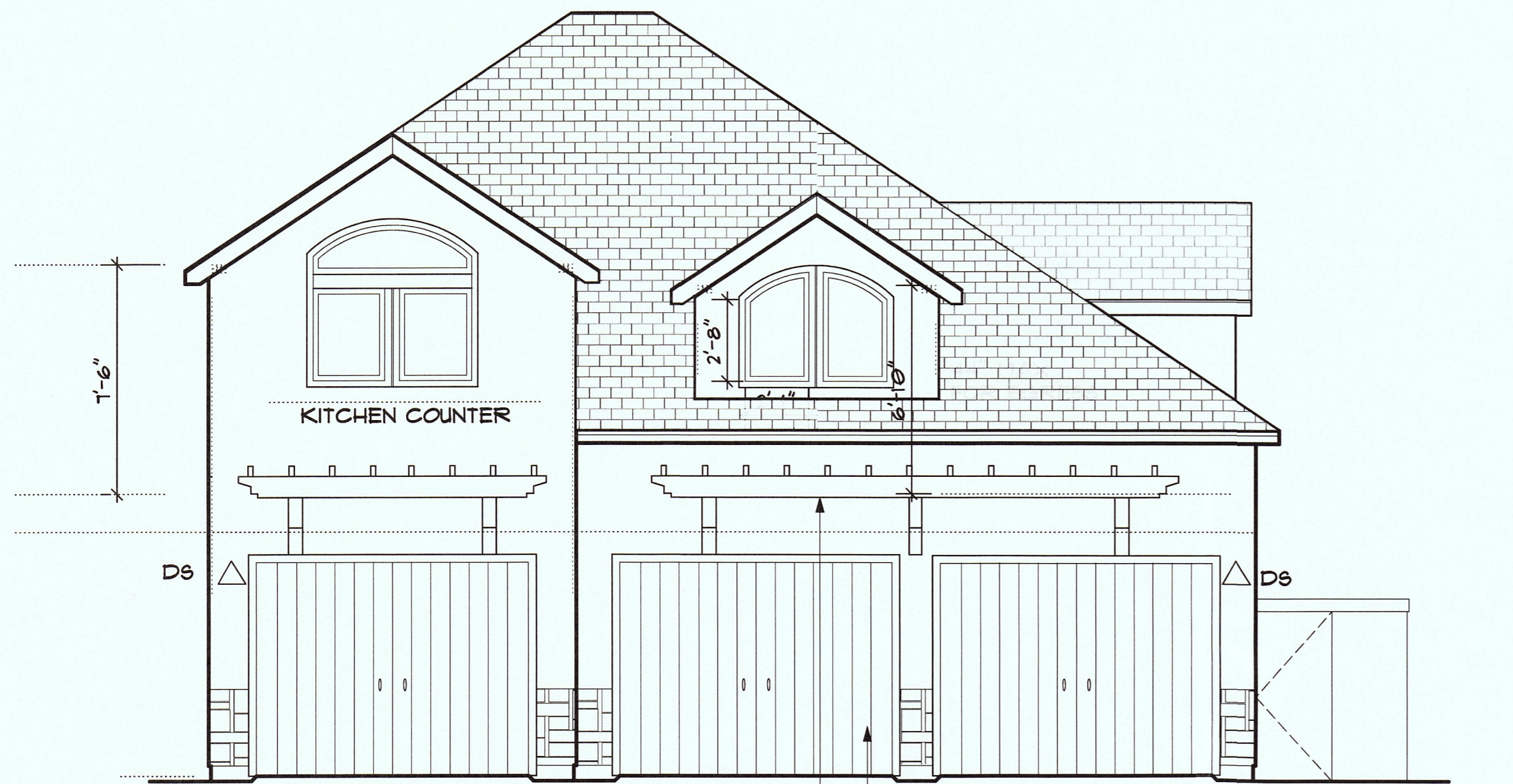
THE 9-11 REGULATIONS ITEM 9 CALLS FOR DAYLIGHT PLANE OR FACADE ARTICULATION. ITEM B "FACADE ARTICULATION... FACADE ARTICULATION IS INTENDED TO BREAK UP THE APPEARANCE OF SHEAR WALLS THROUGH THE PLACEMENT OF PROJECTING OR RECESSING ARCHITECTURAL DETAILS, INCLUDING DECKS, BAYS, WINDOWS, BALCONIES, PORCHES, OVERHANGS AND CANTILVERED FEATURES." WE'VE DONE ALL OF THE ABOVE ON ALL ELEVATIONS.



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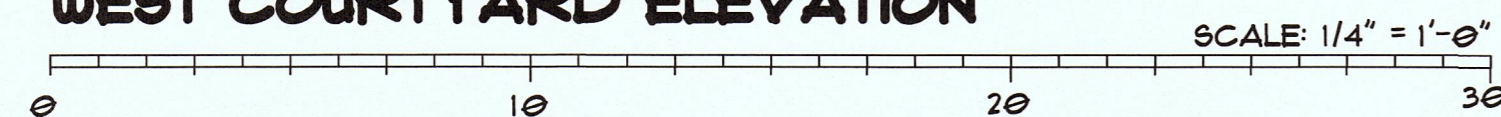
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DATE 3/22/18  
**A3.1**  
 SHEET

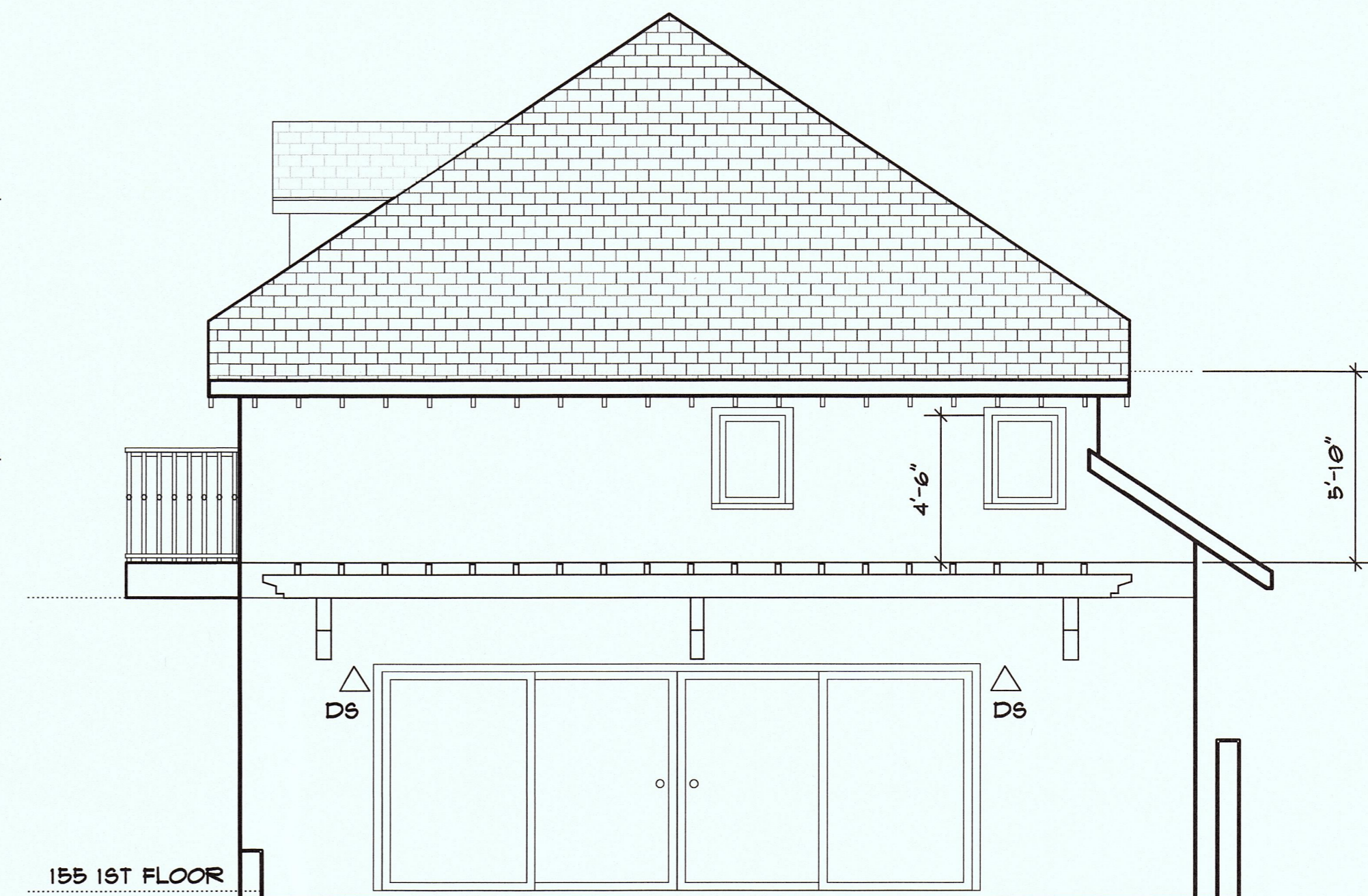


ALL CLEAR HEART REDWOOD F.O.H.C. 1x8 T&G CEDAR OVERHEAD GARAGE DOOR WITH HANDLES. SEE RENDERING FOR MORE INFO

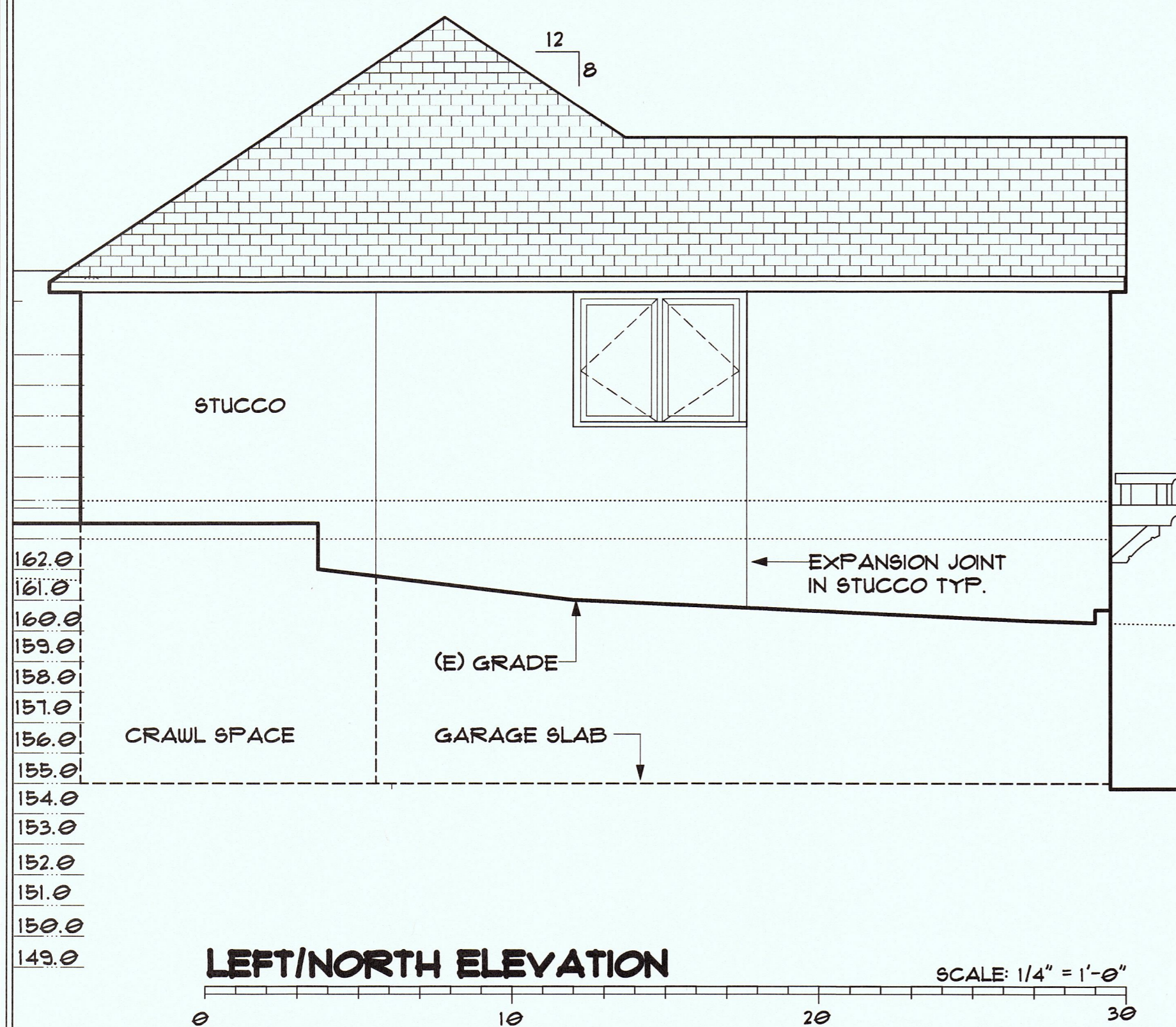
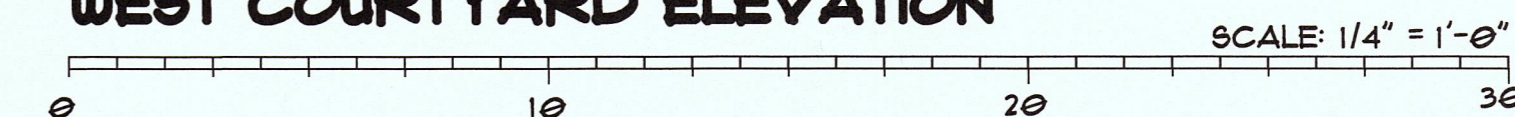
**WEST COURTYARD ELEVATION**



THE 9-17 REGULATIONS ITEM 9 CALLS FOR DAYLIGHT PLANE OR FACADE ARTICULATION. ITEM B "FACADE ARTICULATION . . . FACADE ARTICULATION IS INTENDED TO BREAK UP THE APPEARANCE OF SHEAR WALLS THROUGH THE PLACEMENT OF PROJECTING OR RECESSING ARCHITECTURAL DETAILS, INCLUDING DECKS, BAYS, WINDOWS, BALCONIES, PORCHES, OVERHANGS AND CANTILVERED FEATURES." WE'VE DONE ALL OF THE ABOVE ON ALL ELEVATIONS.



**WEST COURTYARD ELEVATION**



**LEFT/NORTH ELEVATION**

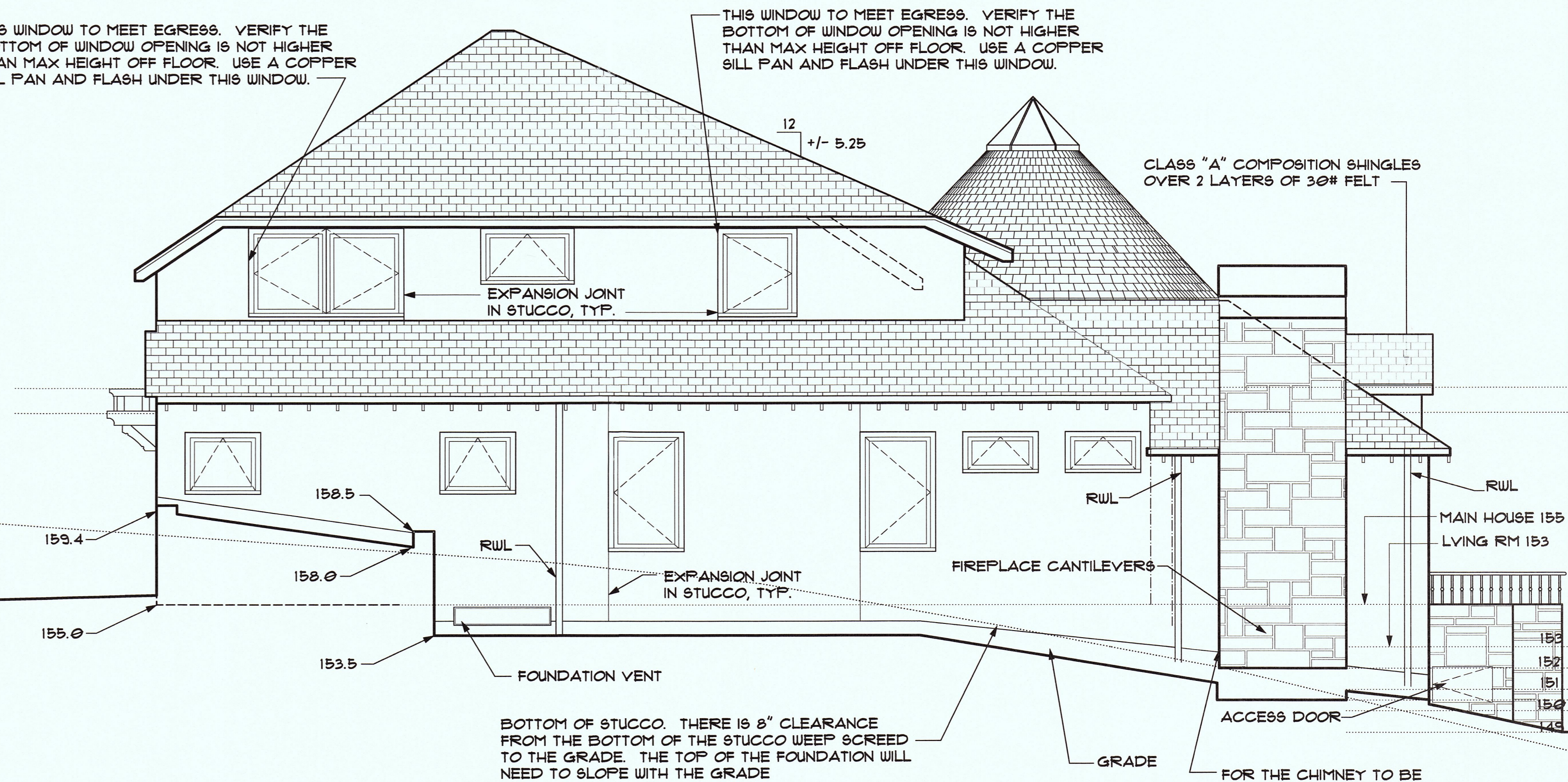


162.0  
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148.0  
147.0

NEW COURTYARD

THIS WINDOW TO MEET EGRESS. VERIFY THE BOTTOM OF WINDOW OPENING IS NOT HIGHER THAN MAX HEIGHT OFF FLOOR. USE A COPPER SILL PAN AND FLASH UNDER THIS WINDOW.

THIS WINDOW TO MEET EGRESS. VERIFY THE BOTTOM OF WINDOW OPENING IS NOT HIGHER THAN MAX HEIGHT OFF FLOOR. USE A COPPER SILL PAN AND FLASH UNDER THIS WINDOW.



BOTTOM OF STUCCO. THERE IS 8" CLEARANCE FROM THE BOTTOM OF THE STUCCO WEEP SCREED TO THE GRADE. THE TOP OF THE FOUNDATION WILL NEED TO SLOPE WITH THE GRADE

FOR THE CHIMNEY TO BE ALLOWED IN THE SIDE SETBACK, IT MUST BE 18" ABOVE GRADE

148.01 BENCHMARK - MAGPIKE STAINLESS STEEL WASHER (SEE SURVEY)



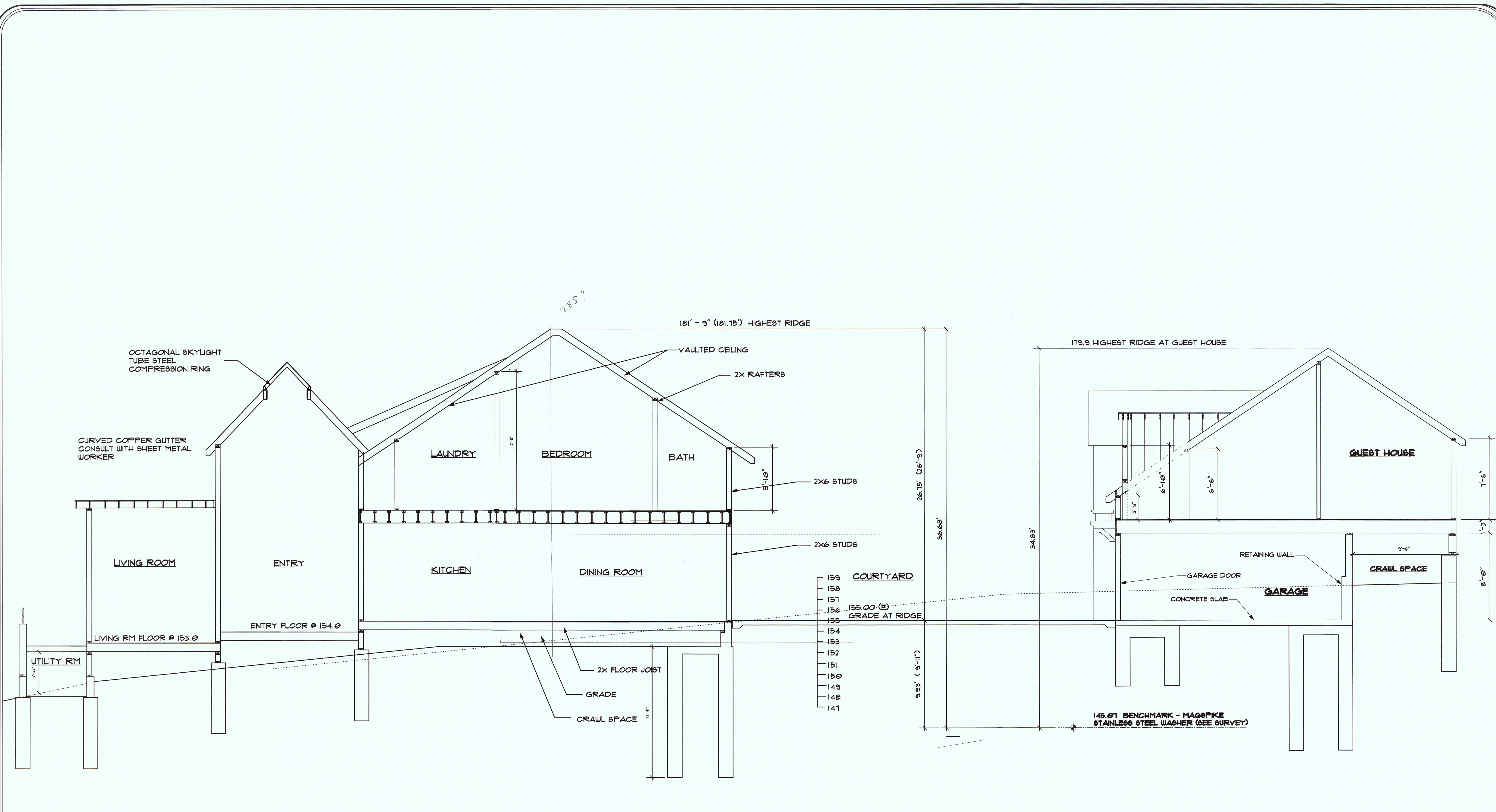
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**Perez, Luis & Lorena**  
NEW RESIDENCE AND GUEST HOUSE

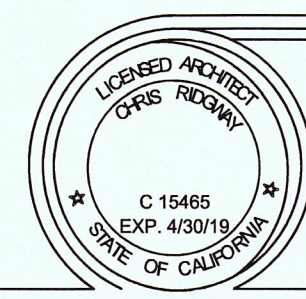
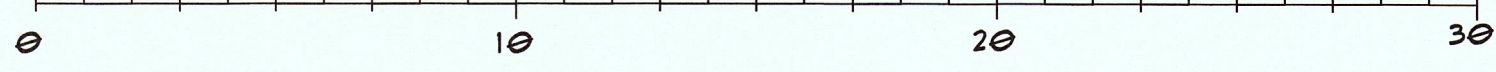
DATE  
3/22/18

**A3.2**  
SHEET



**A-A SECTION**

SCALE: 1/4" = 1'-0"



**CHRIS RIDGWAY ARCHITECT, INC.**

EMAIL: CRARCHITECT@COASTSIDE.NET  
 PH#: 650.622.6301 WEB SITE: CRARCHITECT.NET  
 610 POPLAR STREET, HALF MOON BAY, CA. 94019

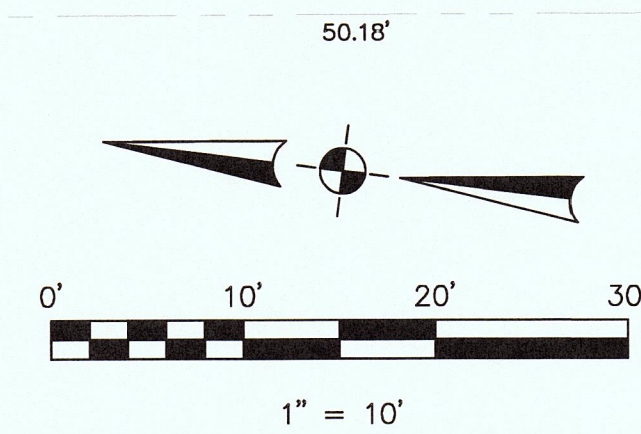
FERDINAND AVE. EL GRANADA  
 A.P.N. 041-222-240  
**Perez, Luis & Lorena**  
 NEW RESIDENCE AND GUEST HOUSE

DATE  
3/22/18

**A3.3**  
SHEET

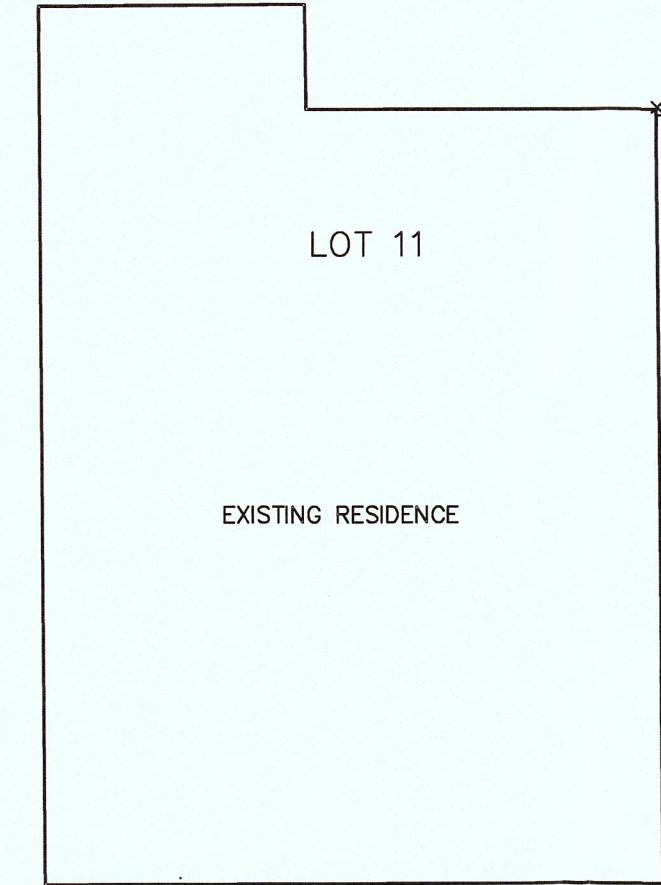
PLAT OF RESUBDIVISION OF SUBDIVISION NOS. 2 AND 3 OF GRANADA  
 BOOK 6 MAPS 29  
 BLOCK 30

AVENUE PORTOLA



**LEGEND**

- AC ASPHALT CONCRETE
- BW BACK OF WALK
- CB CATCH BASIN
- C/L CENTERLINE
- CMP CORRUGATED METAL PIPE
- CI CAST IRON PIPE
- CO CLEAN OUT BOX
- CP SURVEY CONTROL POINT
- CPP CORRUGATED PLASTIC PIPE
- CTV CABLE TELEVISION LINE
- DI DROP INLET
- EM ELECTRIC METER
- EV ELECTRIC VAULT
- FF FINISHED FLOOR
- FL FLOWLINE
- FI FIRE HYDRANT
- GM GAS METER
- GRD GROUND
- GUY GUY ANCHOR
- GV GAS VALVE
- HCR HANDICAP RAMP
- HVE HIGH-VOLT. ELECTRIC
- INV. INVERT
- IP IRON PIPE
- JP JOINT POLE
- KV KILOVOLT
- LAT. LATERAL
- LG LIP OF GUTTER
- MH MH (TYPE UNKNOWN)
- MON-MON MONUMENT TO MONUMENT DISTANCE
- P&S/P&S/P&S P&S VAULT
- P&E VAULT
- PIV POST INDICATOR VALVE
- PP POWER POLE
- SDMH STORM DRAIN MANHOLE
- SLB STREET LIGHT
- SLV STREET LIGHT VAULT
- SSV SANITARY SEWER MANHOLE
- SSV SANITARY SEWER VAULT
- TBC TOP BACK OF CURB
- TBM TEMPORARY BENCHMARK
- TS TRAFFIC SIGNAL
- TSB TRAFFIC SIGNAL BOX
- UNK UNKNOWN TYPE
- VCP VITRIFIED CLAY PIPE
- WBF WATER BACK FLOW VALVE
- WM WATER METER BOX
- WV WATER VALVE
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- OH- OVERHEAD LINE
- SD- STORM DRAIN LINE
- SS- SANITARY SEWER LINE
- T- TELEPHONE LINE
- W- WATER LINE



**LOT 12**  
 8,516 SQ. FT. ±

**BASIS OF BEARINGS**

BEARINGS SHOWN HEREON TAKEN FROM THE RECORD OF SURVEY BY BGT WHICH WAS FILED FOR RECORD IN VOLUME 41 OF LLS MAPS PAGE 7 ON APRIL 21, 2015, SAN MATEO COUNTY RECORDS.

**BENCHMARK**

ELEVATIONS SHOWN HEREON ARE BASED UPON NGVD 29 ("MEAN SEA LEVEL") DATUM. BENCHMARK TO USE FOR SITE WORK IS THE MAGSPIKE AND STAINLESS STEEL WASHER WITH AN ELEVATION OF 145.07 FEET.

**NOTES:**

BGT RELIED UPON A LAWYERS TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 0051601236, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

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SEWER MAIN COULD NOT BE ASCERTAINED. SEWER MANHOLE IN AREA APPEARS TO BE COVERED BY ASPHALT IN ROAD. SEE NOTE AT BOTTOM RIGHT OF MAPPED AREA.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELDCREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING  
 www.bgtsurveying.com

DATE OF FIELD SURVEY: JANUARY, 2017  
 JOB NUMBER: 17-015

www.bgtsurveying.com  
**BGT LAND SURVEYING**  
 1208 S. Amphlett Blvd., Suite 9 - San Mateo, CA 94402  
 Main (650) 212-1030 bgt@bgtsurveying.com



**BOUNDARY AND TOPOGRAPHIC SURVEY**  
 LOT 12, BLOCK 30, "PLAT OF RESUBDIVISION NOS. 2 AND 3 OF GRANADA" (BOOK 6 MAPS 29)  
**VACANT LOT, FERDINAND AVENUE**  
 EL GRANADA, SAN MATEO COUNTY, CALIFORNIA

Assessor Parcel Number:  
 047-222-240

Prepared For:  
 LUIS E PEREZ  
 2087 D STREET  
 HAYWARD, CA 94541

Date: FEB. 2017  
 Scale: 1" = 10'  
 Contour Interval: 1'  
 Drawn by: LHL  
 Revisions:

**SU-1**

Job No. 17-015

FRANCISCO ST.

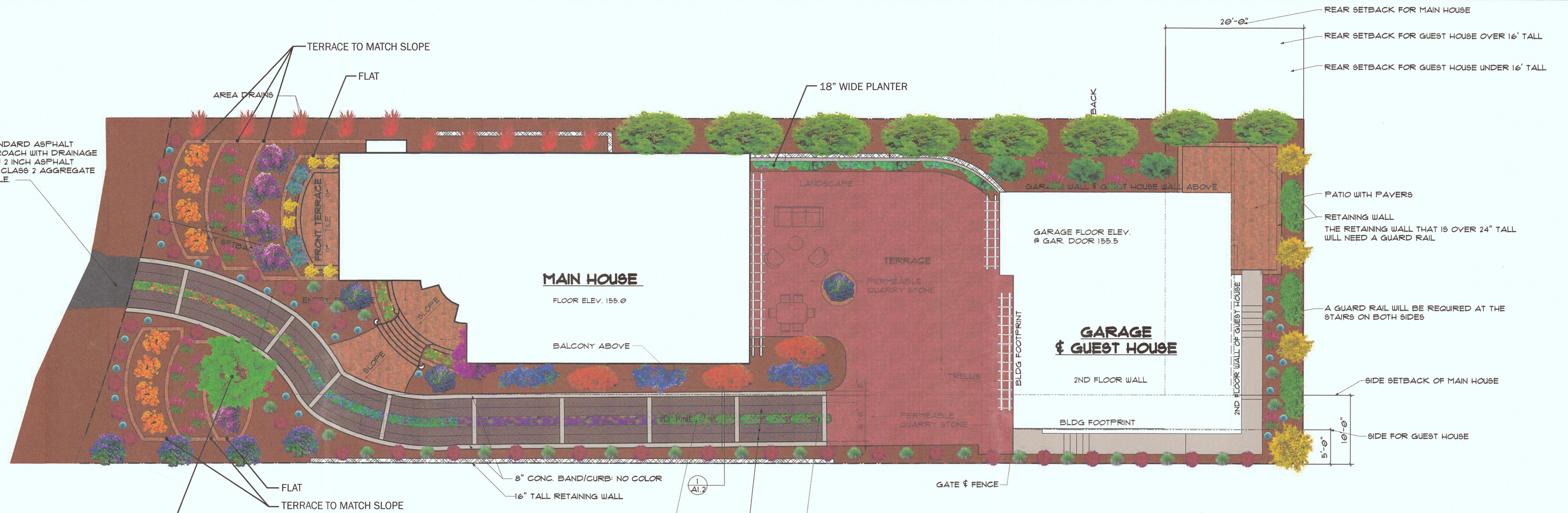
FERDINAND STREET

EDGE OF PAVEMENT

MAGSPIKE AND STAINLESS STEEL WASHER ELEVATION: 145.07 FEET.

GRANADA SANITARY DISTRICT GRAPHICALLY DEPICTS SEWER MANHOLE IN THIS AREA. NOTHING WAS FOUND. STRONG METALLIC SIGNATURE WAS DETECTED IN THIS AREA UNDER ASPHALT.

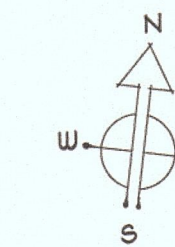
CONSTRUCT COUNTY STANDARD ASPHALT DRIVEWAY & PATH APPROACH WITH DRAINAGE SWALE WITH A MINIMUM OF 2 INCH ASPHALT CONCRETE OVER 6 INCH CLASS 2 AGGREGATE BASE WITH A SLIGHT SWALE.



WE WOULD LIKE TO KEEP THIS CEDAR TREE. HOWEVER, THE DRIVEWAY GRADING MAY DISTURB ITS ROOT. AN ARBORIST SHALL INSPECT THE TREE BEFORE CONSTRUCTION AND ALSO WHEN THE ROUGH GARDEN IS DONE. IF THEY DETERMINE THAT THE TREE WILL BE JEOPARDY, THEN THEY MAY DECIDE TO REMOVE THE TREE AND ADD 2 NEW REDWOOD OR CEDAR TREES.

EXISTING PINE TREE TO BE REMOVED  
 24 X 16 TURFSTONE GRAY PAVEMENT WITH DECOMPOSED GRANITE IN GRAY IN BETWEEN, TYP. SEE PLAN VIEW 2/A1.2  
 24 X 16 TURFSTONE GRAY PAVEMENT WITH LANDSCAPING IN BETWEEN (CENTER OF ENTIRE DRIVEWAY), TYP. SEE PLAN VIEW 2/A1.2

**LANDSCAPE PLAN** SCALE 1/8" = 1'-0"



LEGEND PLANT LIST									
	#	SIZE	NAME	COMMON NAME	GROWTH RATE	AVG. SIZE	DECIDUOUS/EVERGREEN	CA. NATIVE	COASTAL
<b>TREES</b>									
	1			EXISTING CEDAR					
	4	15 GAL	CUPRESSUS MACROCARPA 'CITRIODORA'	LEMON YELLOW CYPRESS	MODERATE	20HT X 10 FT	EVERGREEN	X	X
	1	15 GAL	PAPERFLOWER	BOUGAINVILLEA	MODERATE	12HT X 3 FT	DECIDUOUS/EVERGREEN		X
<b>SHRUBS:</b>									
	VARIABLES	1 GAL		VARIOUS SUCCULENTS	MODERATE	VARIABLES	EVERGREEN	X	X
	25	1 GAL	FESTUCA GLAUCA	BLUE FESCUE	MODERATE	7IN HT X 10 IN	EVERGREEN/PERENNIAL	X	X
	24	1 GAL	FESTUCA MAIREI	ATLAS FESCUE	MODERATE	4HT X 3 FT	EVERGREEN		X
	36	1 GAL	PENNISETUM SETACEUM	FIREWORKS FOUNTAIN GRASS	MODERATE	3HT X 2 FT	DECID/EVERGRN	X	X
	5	1 GAL	RHODODENDRON MACROPHYLLUM	CALIFORNIA ROSE BAY	MODERATE	8HT X 6 FT	DECID/EVERGRN	X	X
	21	1 GAL	PENSTEMON 'GARNET'	PENSTEMON	MODERATE	4FT X 2 FT	PERENNIAL		
	7	1 GAL	ABUTILON PALMERI	INDIAN MALLOW	MODERATE	4HT X 4 FT	EVERGREEN	X	

LEGEND PLANT LIST									
	#	SIZE	NAME	COMMON NAME	GROWTH RATE	AVG. SIZE	DECIDUOUS/EVERGREEN	CA. NATIVE	COASTAL
	2	1 GAL	MALACOTHAMNUS FASCICULATUS	MESA BUSHMALLOW	FAST	3-12HT X 6 FT	EVERGREEN	X	X
	6	1 GAL	ACHILLEA	YARROW	MODERATE	8HT X 3 FT	PERENNIAL	X	X
	10	1 GAL	ERIOGONIUM GRANDE RUBESCENS	RED TWIG DOGWOOD	MODERATE	2HT X 2 FT	EVERGREEN	X	X
	4	3.5 GAL	HEDERA ALGERIENSIS	ALGERIAN IVY	FAST	CAN CLIMB TO 40FT HT	EVERGREEN		X
	2	1 GAL	LUPINUS LONGIFOLIUS	VIOLET BUSH LUPINE	MODERATE	4HT X 4 FT	DECIDUOUS	X	X
	8	15 GAL	LAURUS NOBILIS	BAY LAUREL	SLOW	12-15HT X 12 FT	EVERGREEN	X	X
	4	5 GAL	ABUTILON X HYBRIDUM 'ROSEUS'	PINK FLOWERING MAPLE	FAST	8-12HT X 8 FT	EVERGREEN/PERENNIAL	X	X
	3	5 GAL	RIBES VIBURNIFOLIUM	CALLUNA EVERGREEN CURRANT	MODERATE	3HT X 5 FT	EVERGREEN	X	X
	3	1 GAL	RHAMNUS CALIFORNICA 'MOUND SAN BRUNO'	COFFEEBERRY	MODERATE	4HT X 6 FT	EVERGREEN	X	c
	9	1 GAL	ZAUSCHNERIA (EPILOBIUM) CALIFORNIA 'MEXICANA'	CALIFORNIA FUCHSIA	MODERATE	2HT X 2 FT	EVERGREEN	X	X

LEGEND PLANT LIST									
	#	SIZE	NAME	COMMON NAME	GROWTH RATE	AVG. SIZE	DECIDUOUS/EVERGREEN	CA. NATIVE	COASTAL
<b>GROUNDCOVER:</b>									
	3	1 GAL	CEANOTHUS GRISEUS HORIZONTALIS 'YANKEE POINT'	CARMEL CREEPER	MODERATE	2HT X 8 FT	EVERGREEN	X	X
	8	FLATS	THYMUS PRAECOX	CREEPING THYME	MODERATE	4HT X 6 FT	EVERGREEN	X	X
	8	FLATS	ARCTOSTAPHYLOS UVA-URS	POINT REYES MANZANITA	MODERATE	5IN.HT X 10IN	EVERGREEN	X	X
	8	FLATS	FRAGARIA VESCA	WOODLAND STRAWBERRY	MODERATE	8IN. HT X 7 FT	PERENNIAL	X	X
	8	FLATS	PORTULACA GRANDIFLORA	MOSS ROSE	MODERATE	8IN. HT X 1.5 FT	PERENNIAL		X

- GENERAL NOTES:
- NO IRRIGATION SYSTEM TO BE INSTALLED
  - A MINIMUM THREE INCH (3) LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
  - PRIOR TO PLANTING, 4 YARDS OF COMPOST MUST BE INCORPORATED PER 1000 SQ. FT. OF PERMEABLE LANDSCAPE AREA.



**TIFFANY FTATE**

FERDINAND AVE. EL GRANADA  
A.P.N. 047-222-240

**PEREZ, LUIS & LORENA**

LANDSCAPE PLAN

NEW RESIDENCE AND GUEST HOUSE

L1.0

LOT 21

LOT 20

LOT 19

LOT 18

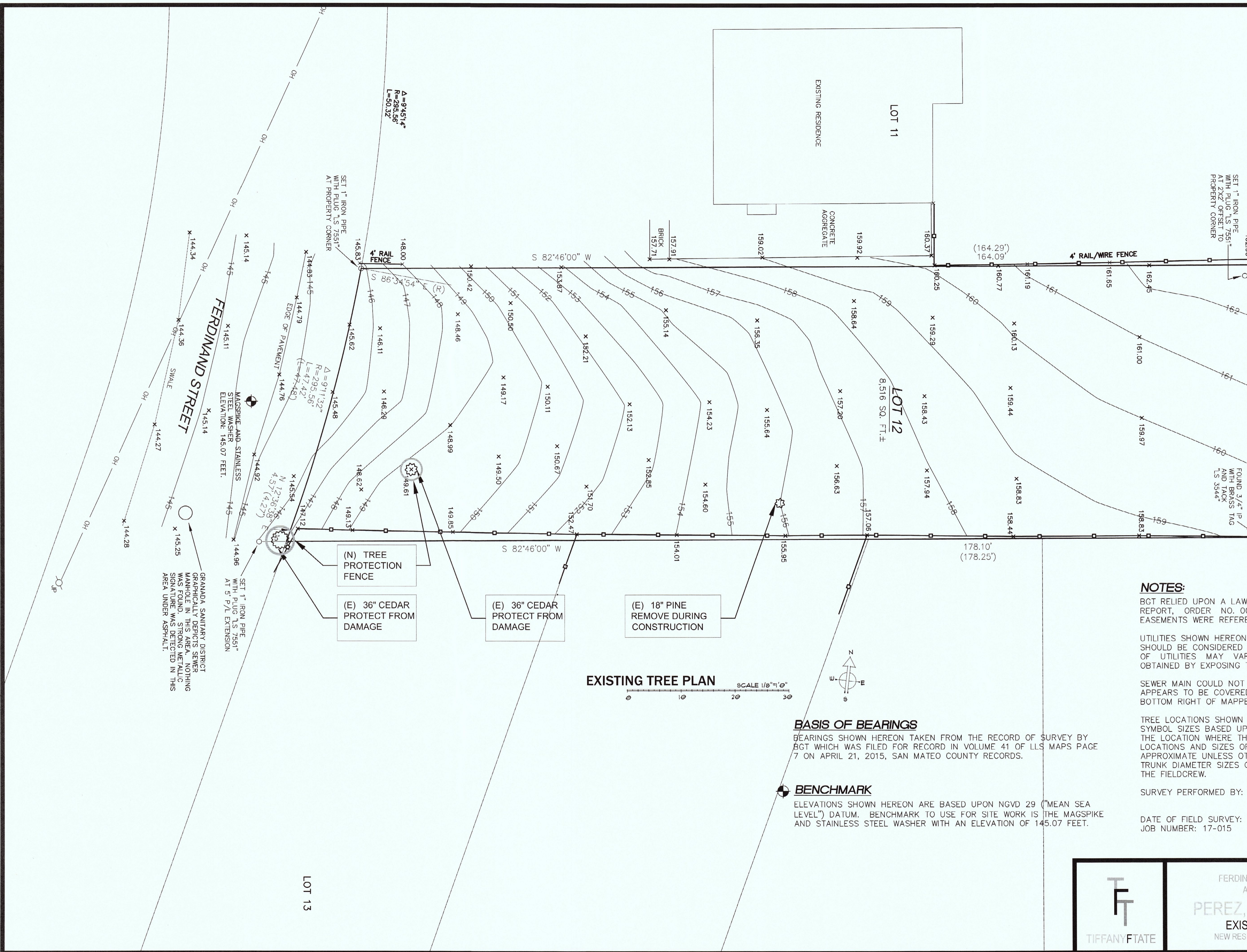
LOT 17

LOT 16

LOT 15

LOT 14

LOT 13



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SURVEY PERFORMED BY: BGT LAND SURVEYING  
[www.bgtssurveying.com](http://www.bgtssurveying.com)

DATE OF FIELD SURVEY: JANUARY, 2017  
 JOB NUMBER: 17-015

(N) TREE PROTECTION FENCE

(E) 36" CEDAR PROTECT FROM DAMAGE

(E) 36" CEDAR PROTECT FROM DAMAGE

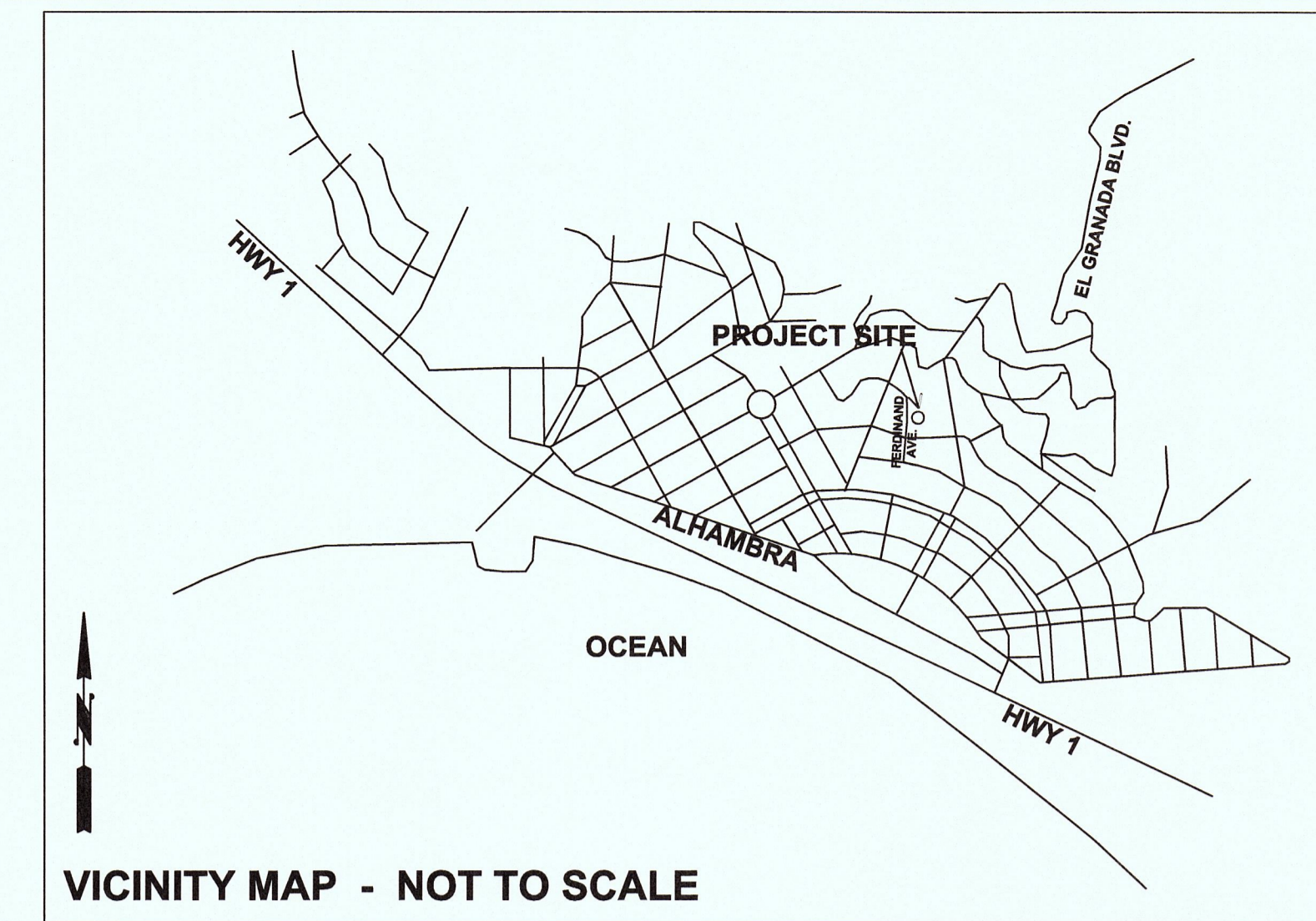
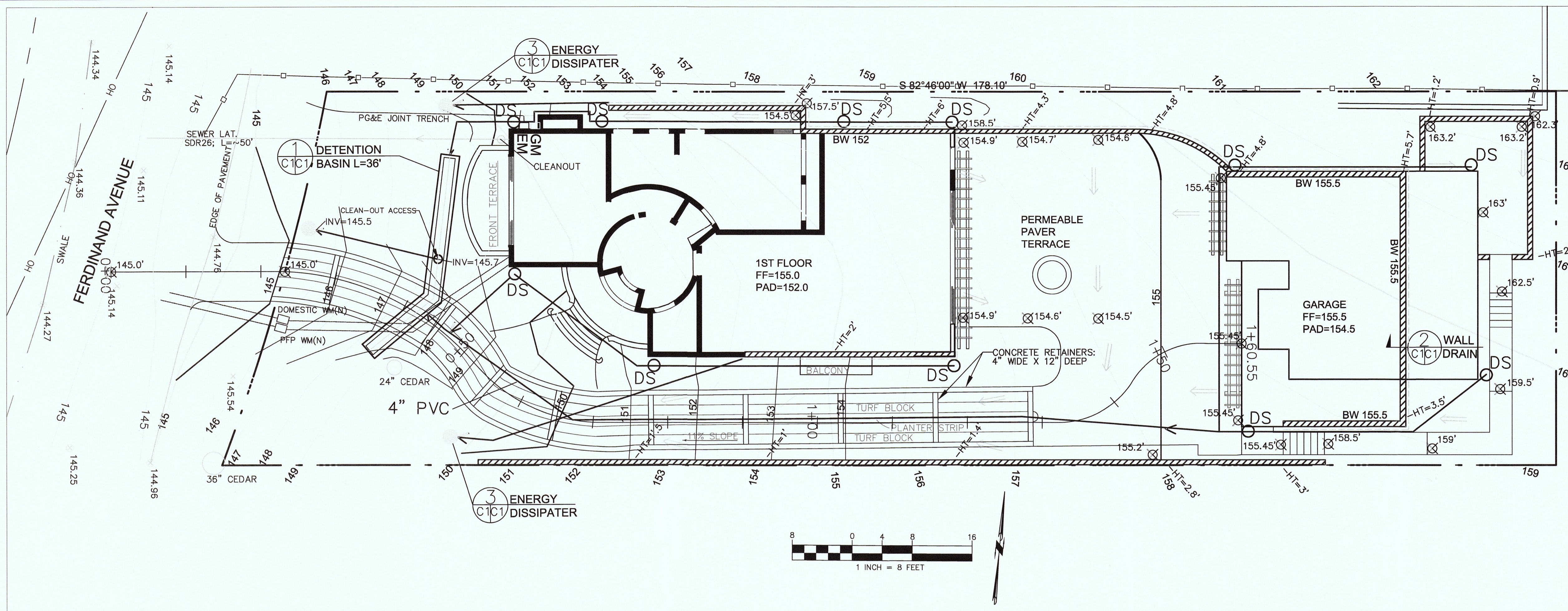
(E) 18" PINE REMOVE DURING CONSTRUCTION



**BASIS OF BEARINGS**  
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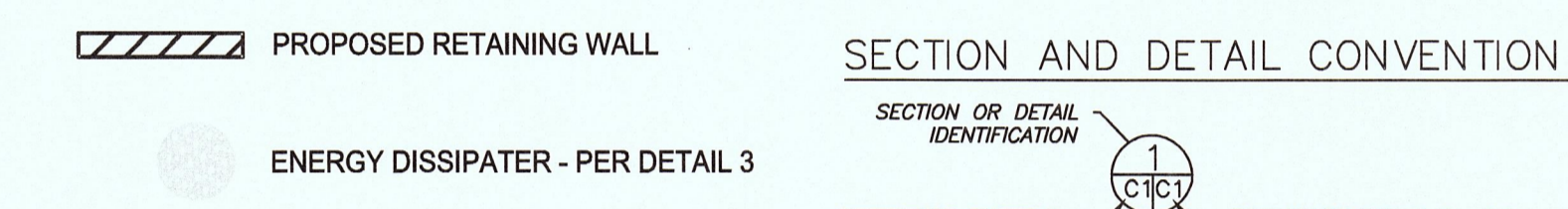
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 TIFFANYTATE	FERDINAND AVE. EL GRANADA A.P.N. 047-222-240	L2.0
	<b>PEREZ, LUIS &amp; LORENA</b>	
	EXISTING TREE PLAN NEW RESIDENCE AND GUEST HOUSE	



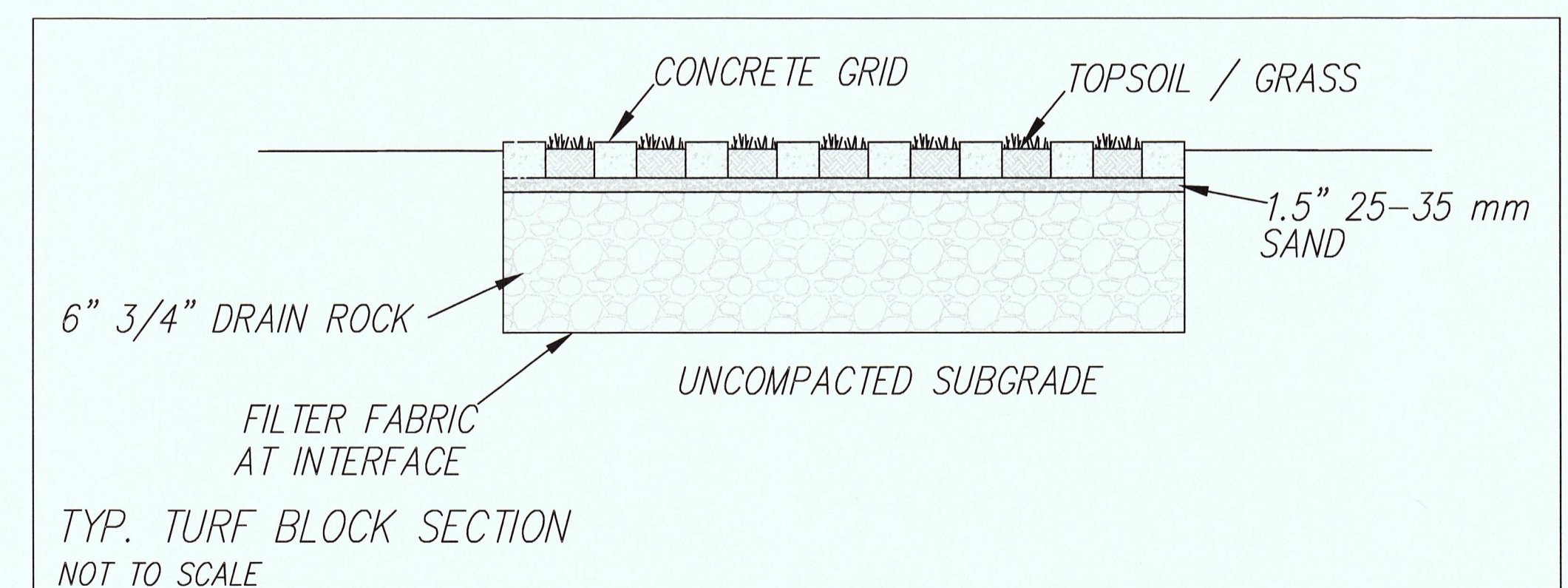
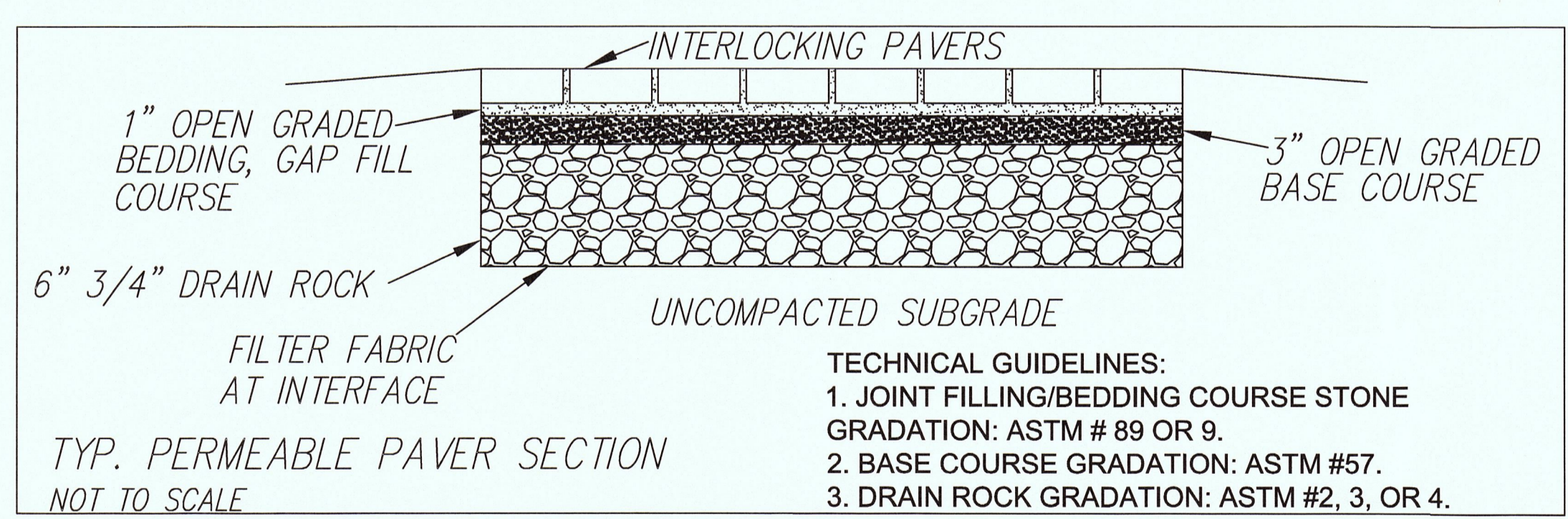
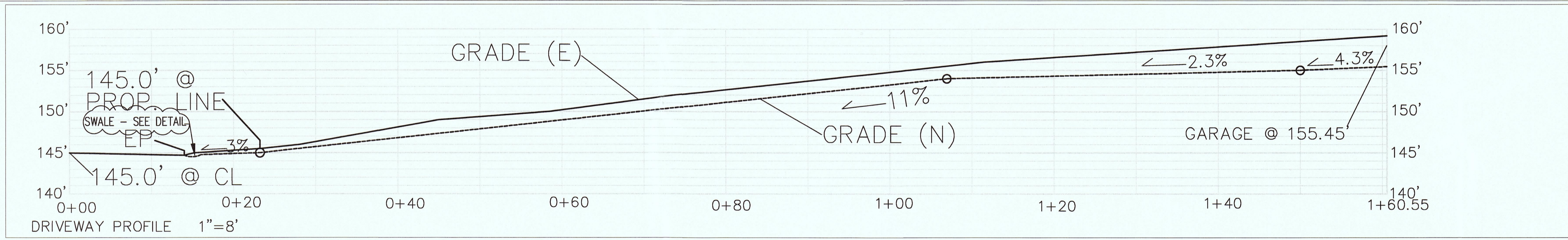
**LEGEND**

- EXISTING CONTOURS
- PROPOSED CONTOURS
- 158.3' PROPOSED SPOT ELEVATION
- DS DOWNSPOUT
- DIRECTION OF SURFACE DRAINAGE
- 3" SOLID PLASTIC DRAIN PIPE, SDR 35 @ 1% MINIMUM SLOPE.
- 3" PERFORATED PLASTIC DRAIN PIPE, SDR 35 @ 1% MINIMUM SLOPE.
- PROPOSED RETAINING WALL



**GENERAL NOTES**

1. PLANS PREPARED AT THE REQUEST OF: LUIS PEREZ, OWNER
2. SURVEY AND TOPOGRAPHY BY OTHERS
3. ELEVATION DATUM ASSUMED
4. THIS IS NOT A BOUNDARY SURVEY.
5. AN ARBORIST WILL EVALUATE THE 24" CYPRESS TREE NEXT TO THE DRIVEWAY TO DETERMINE THE IMPACT OF THE DRIVEWAY ON THE TREE.



**GRADING NOTES**

- CUT VOLUME : 455 CY  
 FILL VOLUME: 10 CY
1. ABOVE VOLUMES ARE APPROXIMATE.
  2. MAXIMUM GRADIENT OF ANY MODIFIED SLOPES SHALL BE 2:1 (H:V).
  3. ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
  4. ALL TRENCHES IN PROPOSED LANDSCAPE AREAS SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

**DRAINAGE NOTES**

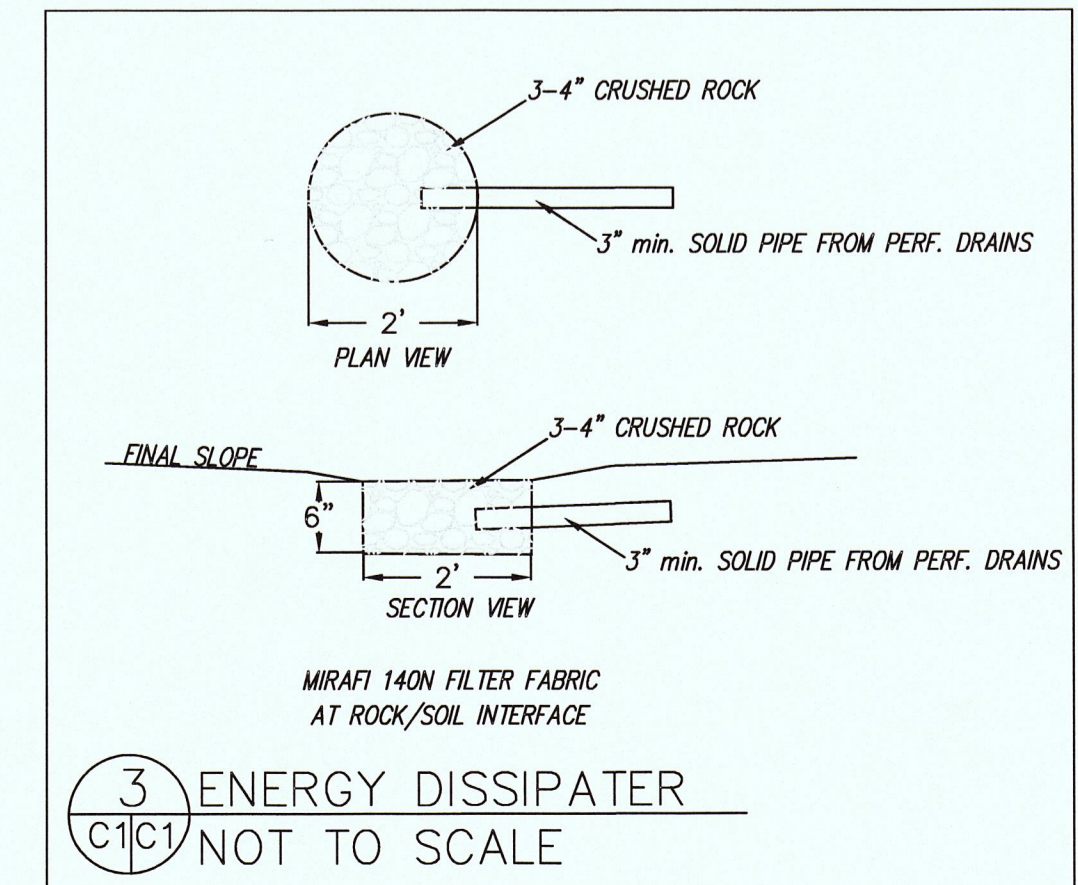
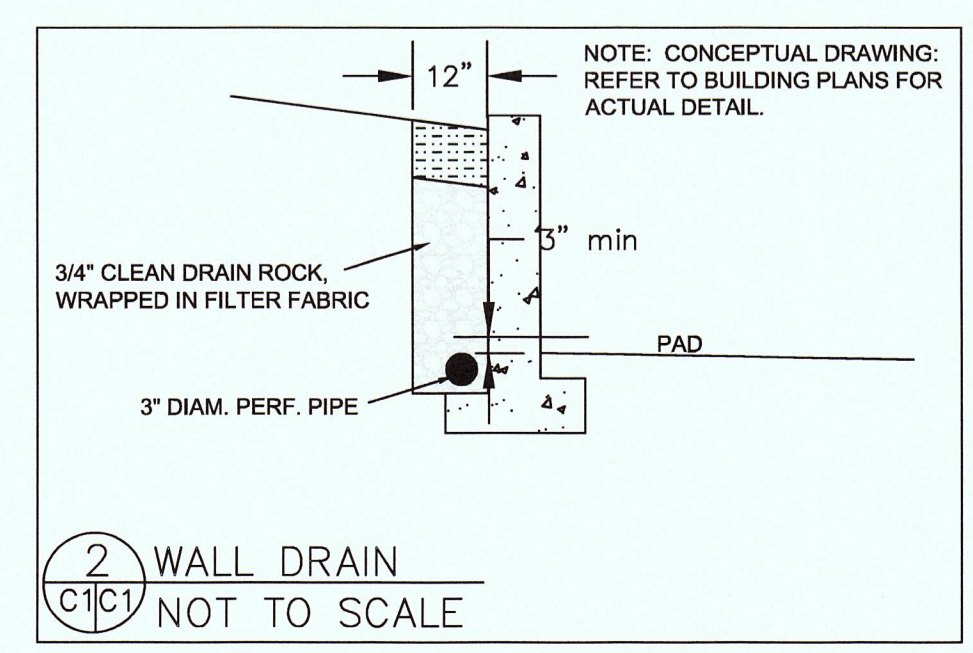
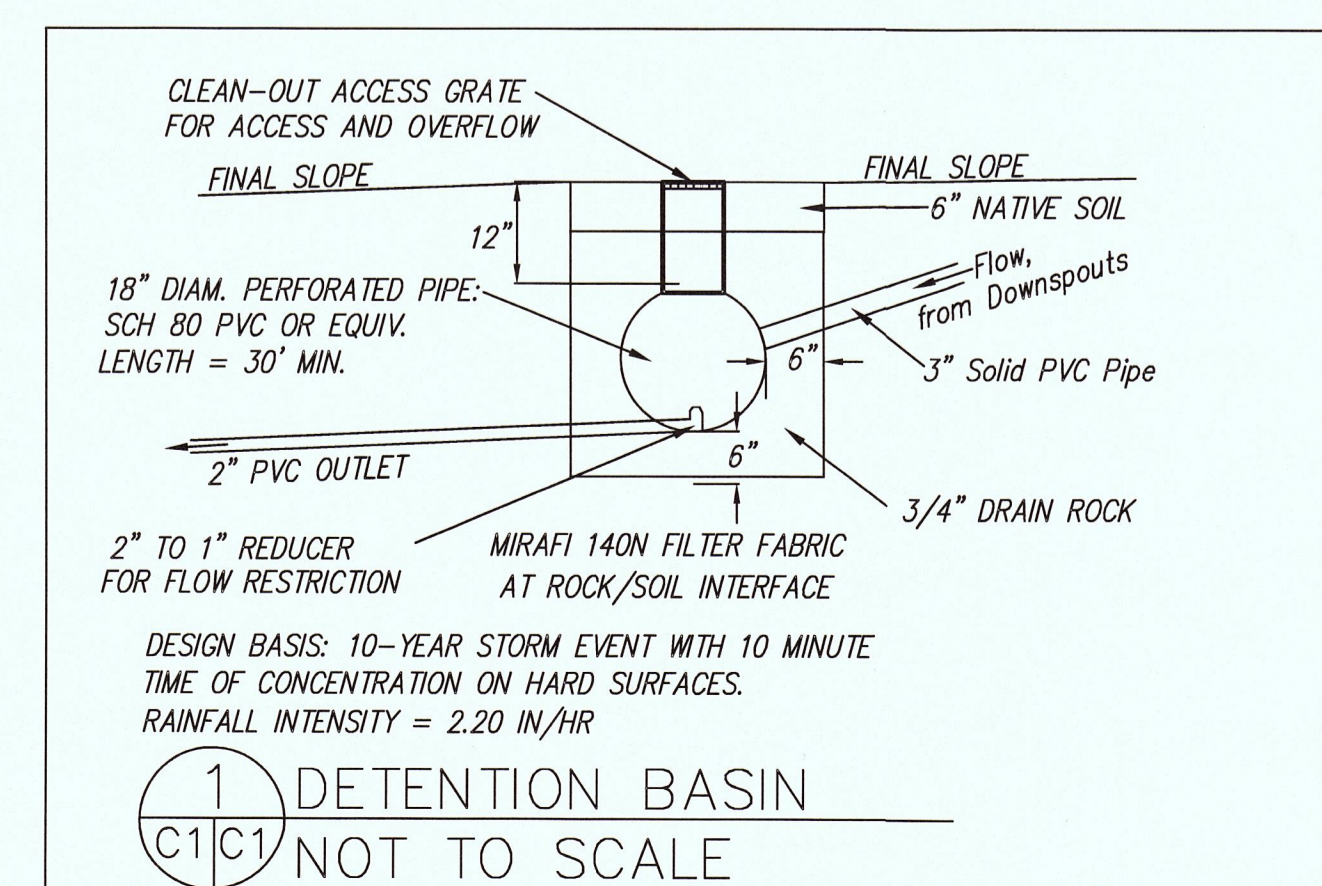
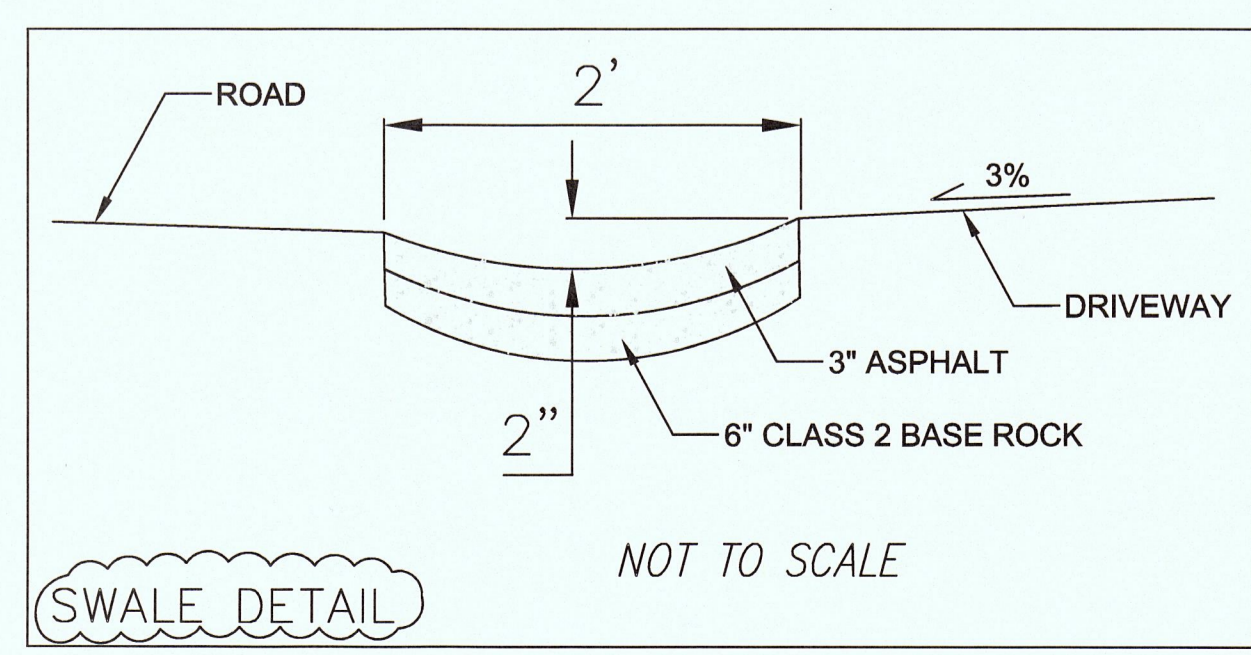
1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS.
2. ALL ROOF DRAIN LINES SHALL LEAD TO DETENTION BASINS SHOWN.
3. ALL DRAINAGE PIPES SHALL BE MINIMUM 3" DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE RESPONSIBILITY OF THE OWNER TO MAINTAIN THE DRAINAGE SYSTEM. THE DRAINS PIPES AND DETENTION BASIN SHALL BE CHECKED EVERY FALL AND CLEARED OF DEBRIS.

**TRAFFIC CONTROL NOTES**

1. CONTRACTOR AND WORKERS SHALL PARK ON SHOULDER OF FERDINAND AVENUE.
2. WHEN TRUCKS PARK IN STREET FOR DELIVERY OF SUPPLIES AND CONCRETE, EVERY EFFORT SHALL BE MADE TO PROVIDE ROOM FOR VEHICLES TO PASS. WORKERS SHALL PROVIDE TRAFFIC CONTROL AT ALL TIMES WHEN ROAD IS PARTIALLY BLOCKED.
3. IF ROAD IS BLOCKED, WORKERS SHALL PROVIDE WRITTEN DIRECTIONS FOR A DETOUR, IF REQUESTED BY A MOTORIST.

**CONSTRUCTION SCHEDULE**

- DAY 1: INSTALL FIBER ROLLS.  
 DAY 2: COMMENCE WORK WITH SITE CLEARING.  
 DAY 3: INSTALL ROCKED CONSTRUCTION ENTRANCE  
 WEEK 1: LAY OUT AND TRENCH UTILITIES  
 WEEK 2: FINISH ROUGH GRADING  
 WEEK 3: BEGIN FOUNDATIONS  
 WEEK 5: POUR CONCRETE FOR FOOTINGS  
 WEEK 6: BEGIN FRAMING  
 MONTH 3: FINISH SHELL  
 MONTH 5: FINISH MOST OF INTERIOR  
 MONTH 7: FINISH PROJECT



**GRADING AND DRAINAGE PLAN**

DATE: 7-21-17  
 DRAWN BY: CMK  
 CHECKED BY: AZG  
 REV. DATE: 3-14-18  
 REV. DATE: 5-10-18  
 REV. DATE:

Sigma Prime Geosciences, Inc.  
 SIGMA PRIME GEOSCIENCES, INC.  
 332 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590  
 FAX 728-3593

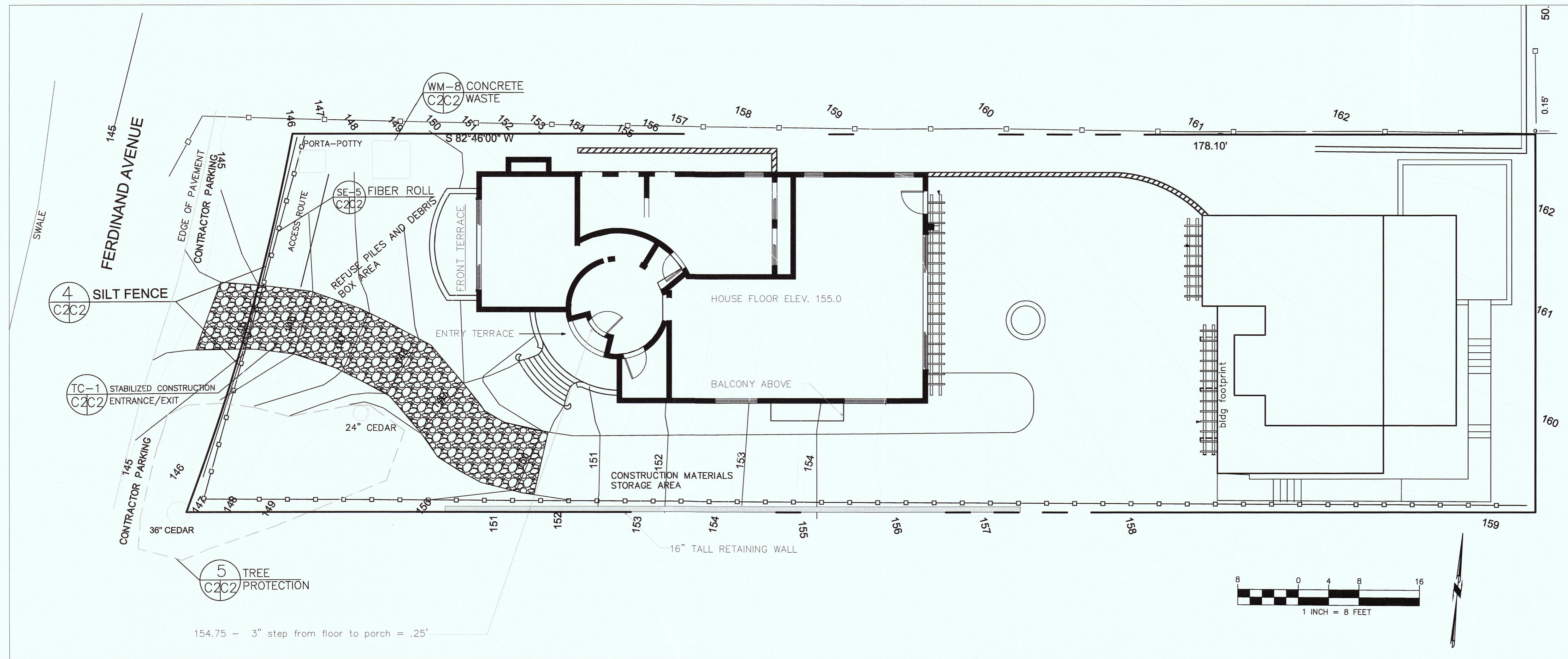
REGISTERED PROFESSIONAL ENGINEER  
 CHARLES M. KISSNER  
 No. 62264  
 9-30-19 EXPIRES  
 CIVIL  
 STATE OF CALIFORNIA

PEREZ PROPERTY  
 FERDINAND AVENUE, EL GRANADA  
 APN 047-222-240

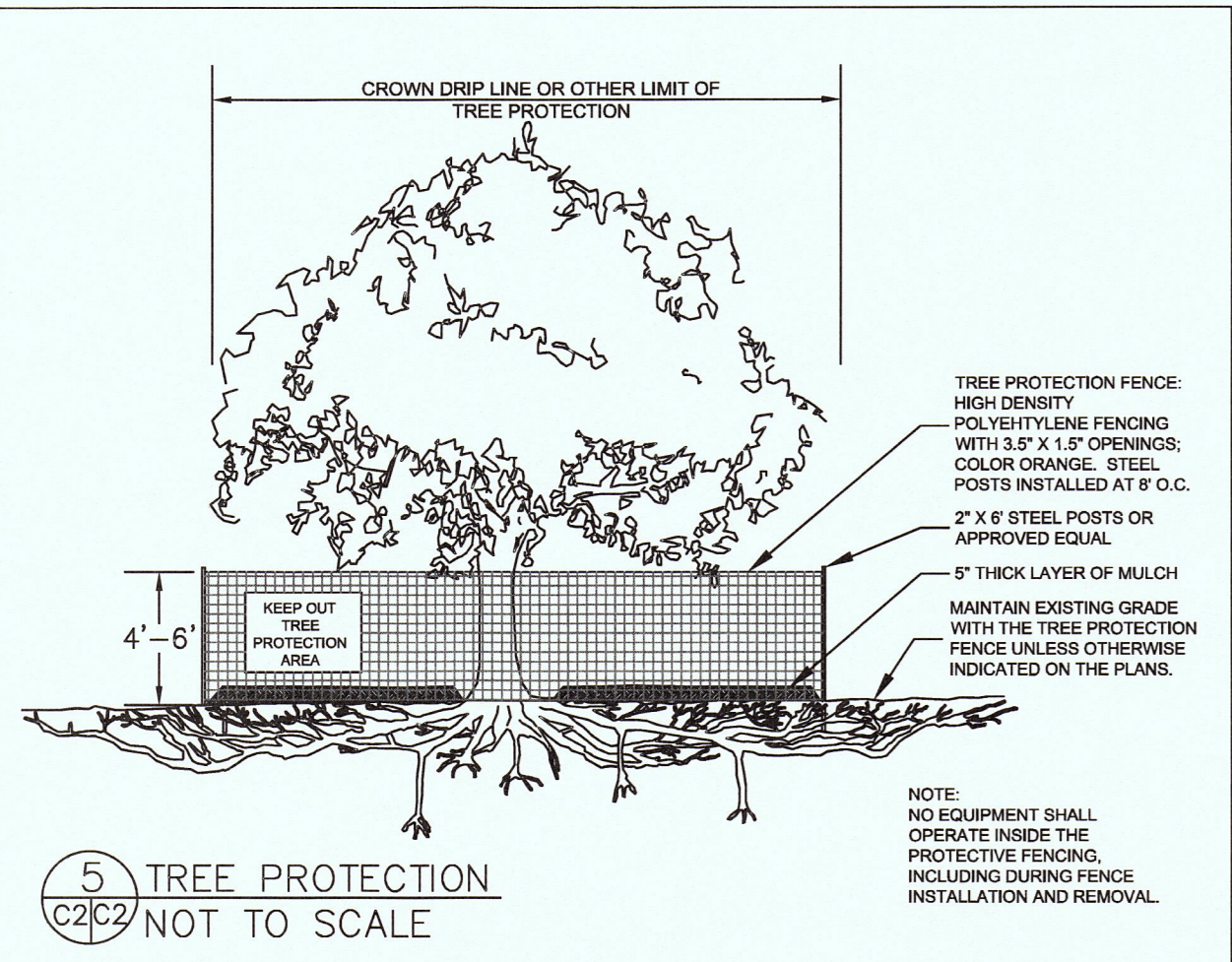
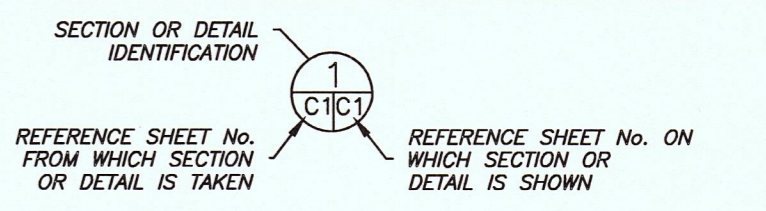
SHEET  
 C-1



- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site
- The tree protection shall be in place before any grading, excavating or grubbing is started.

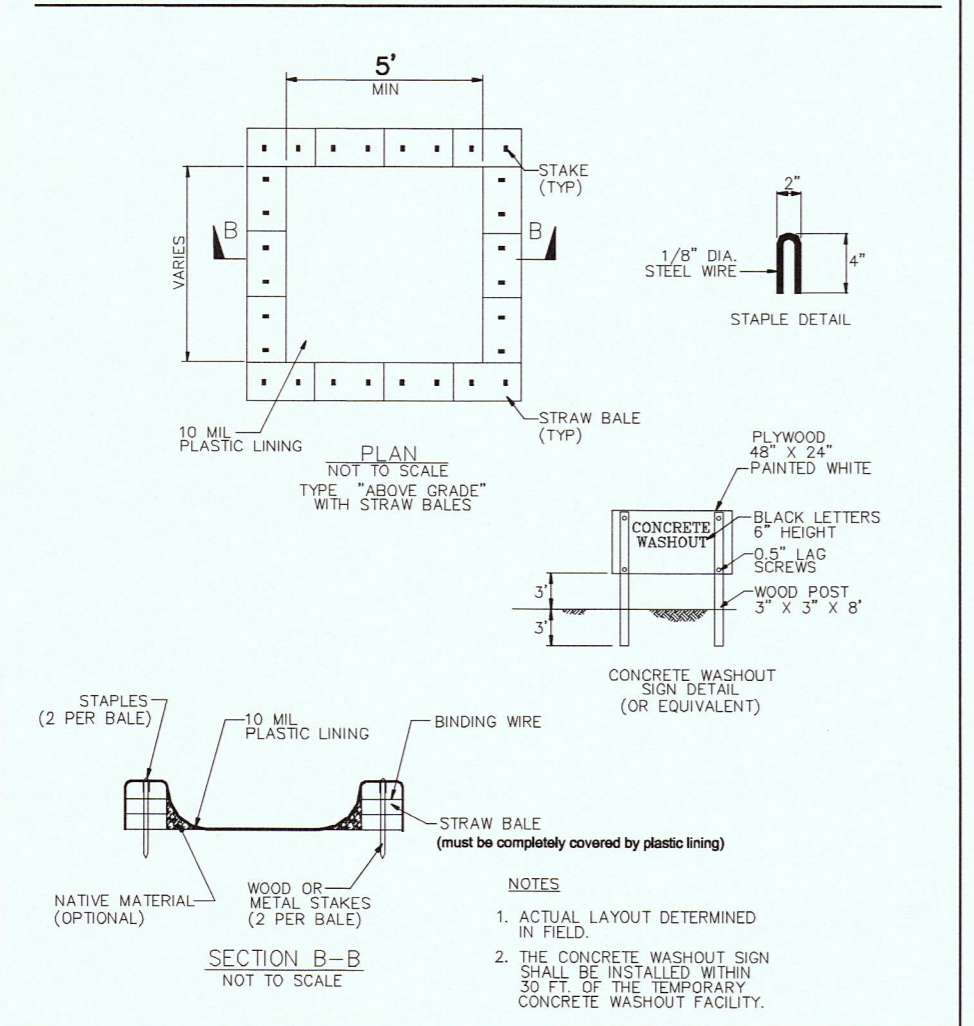


SECTION AND DETAIL CONVENTION

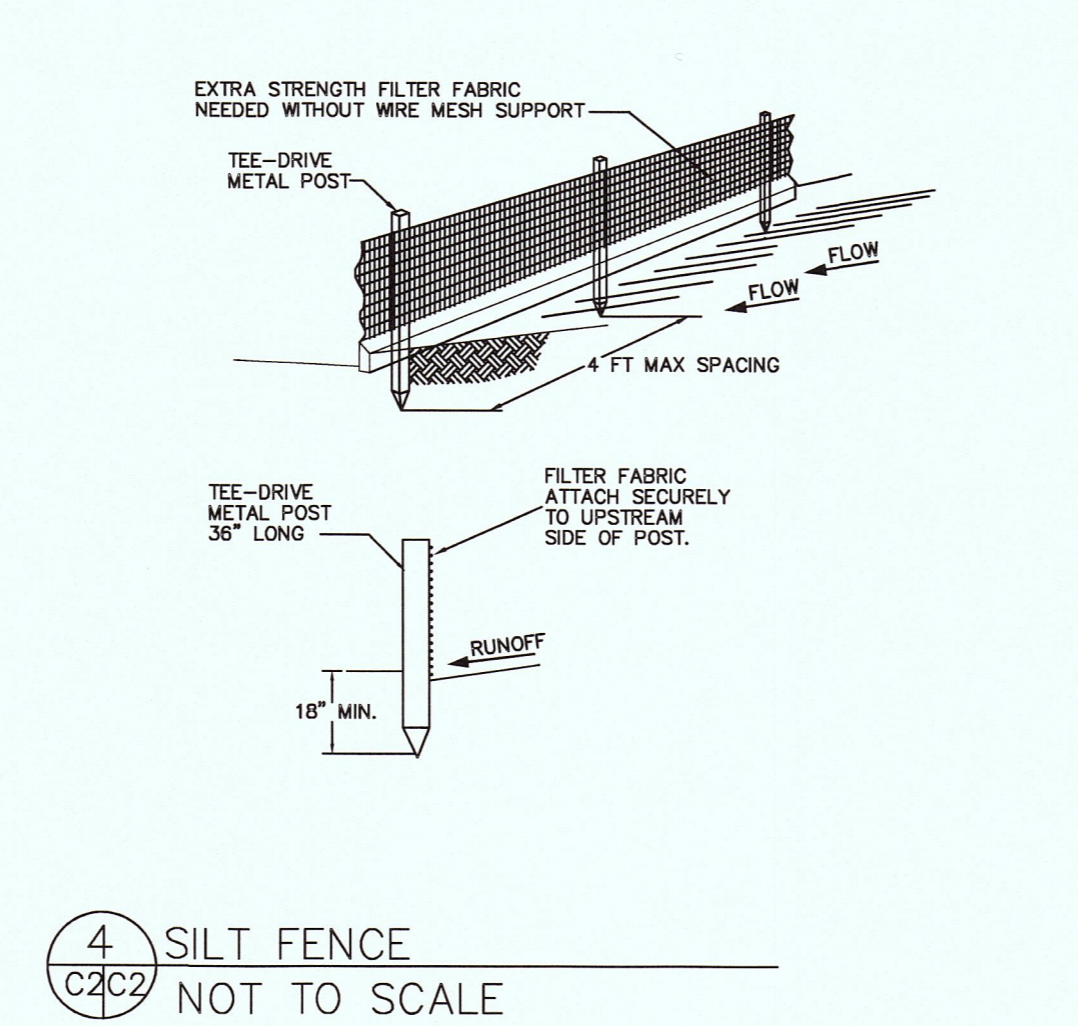


- TREE PROTECTION NOTES**
1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
  2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
  3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
  4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
  5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
  6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.
  7. AN ARBORIST WILL EVALUATE THE 24" CYPRESS TREE NEXT TO THE DRIVEWAY TO DETERMINE THE IMPACT OF THE DRIVEWAY ON THE TREE.

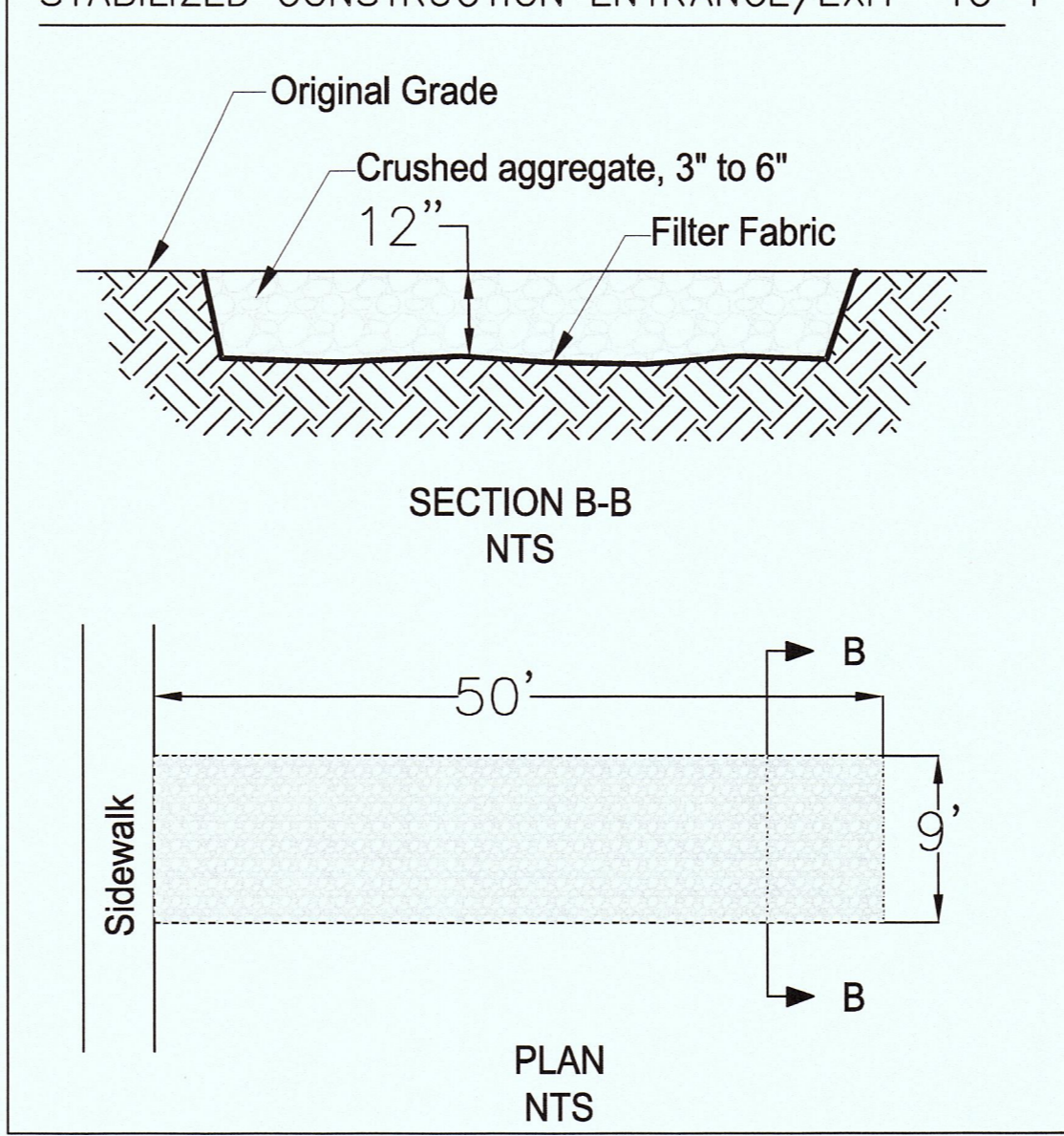
CONCRETE WASTE MANAGEMENT WM-8



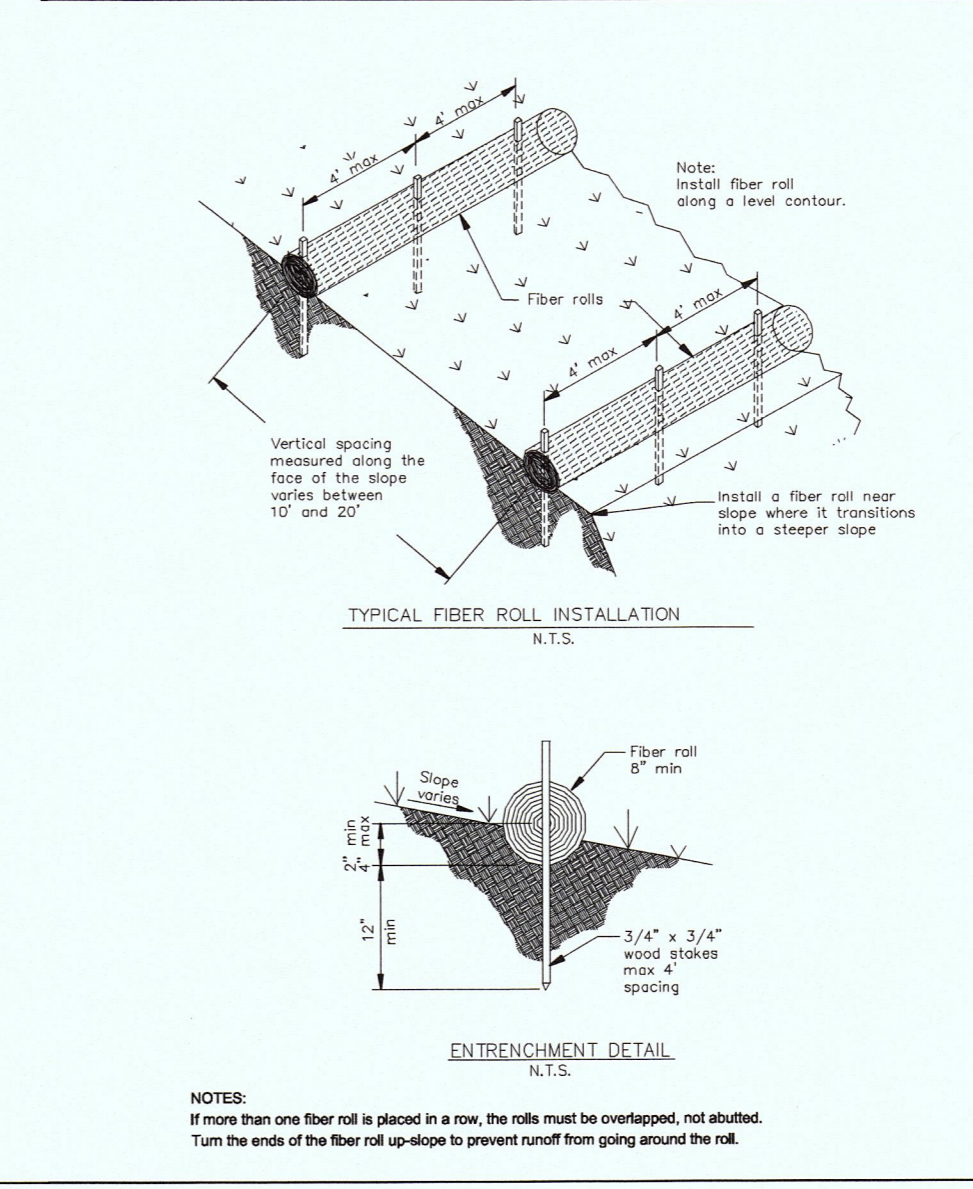
4 SILT FENCE



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1



FIBER ROLLS SE-5



CONSTRUCTION SCHEDULE

- DAY 1: INSTALL FIBER ROLLS.  
 DAY 2: COMMENCE WORK WITH SITE CLEARING.  
 DAY 3: INSTALL ROCKED CONSTRUCTION ENTRANCE  
 WEEK 1: LAY OUT AND TRENCH UTILITIES  
 WEEK 2: FINISH ROUGH GRADING  
 WEEK 3: BEGIN FOUNDATIONS  
 WEEK 5: POUR CONCRETE FOR FOOTINGS  
 WEEK 6: BEGIN FRAMING  
 MONTH 3: FINISH SHELL  
 MONTH 5: FINISH MOST OF INTERIOR  
 MONTH 7: FINISH PROJECT

EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: LUIS PEREZ  
 TITLE/QUALIFICATION: OWNER  
 PHONE: 510-593-3438  
 PHONE:  
 E-MAIL: PEREZELECTRICAL@ATT.NET

EROSION CONTROL NOTES

1. GRADING MAY NOT TAKE PLACE DURING THE WET SEASON AFTER OCTOBER 1 UNLESS REQUESTED AND APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR.
2. EVEN WITH PERMISSION TO GRADE DURING THE WET SEASON, NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
6. ROCKED CONSTRUCTION ENTRANCE SHALL BE 50 FEET LONG BY 24 FEET WIDE AND CONFORM TO THE FOLLOWING:
  - A. THE MATERIAL FOR THE PAD SHALL BE 3 TO 6 INCH STONE.
  - B. PAD SHALL BE NOT LESS THAN 12" THICK.
  - C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
  - D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
7. CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE)

EROSION AND SEDIMENT CONTROL AND TREE PROTECTION PLAN

DATE: 7-21-17  
 DRAWN BY: CMK  
 CHECKED BY: AZG  
 REV. DATE: 9-21-17  
 REV. DATE: 3-14-18  
 REV. DATE:

Sigma Prime Geosciences, Inc.  
 SIGMA PRIME GEOSCIENCES, INC.  
 332 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590  
 FAX 728-3593

PEREZ PROPERTY  
 FERDINAND AVENUE, EL GRANADA  
 APN 047-222-240

SHEET  
 C-2



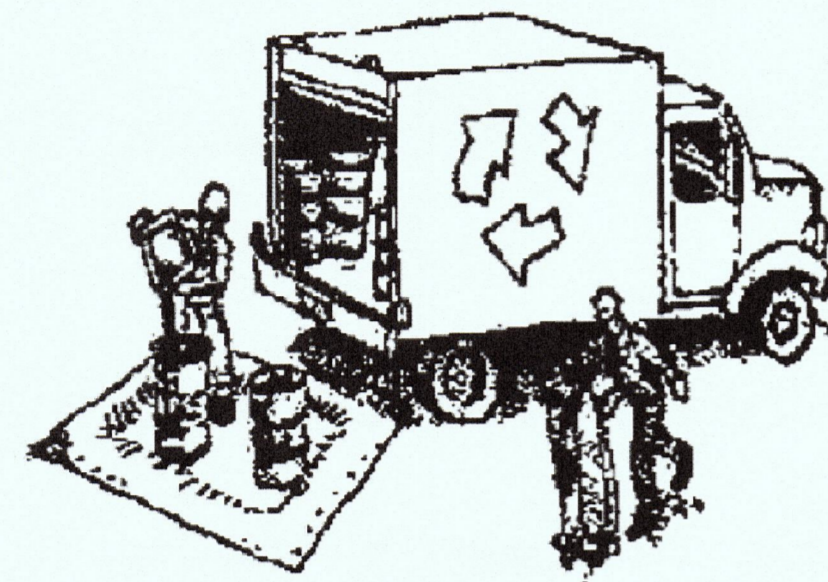
SAN MATEO COUNTYWIDE  
**Water Pollution  
Prevention Program**

Clean Water. Healthy Community.

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



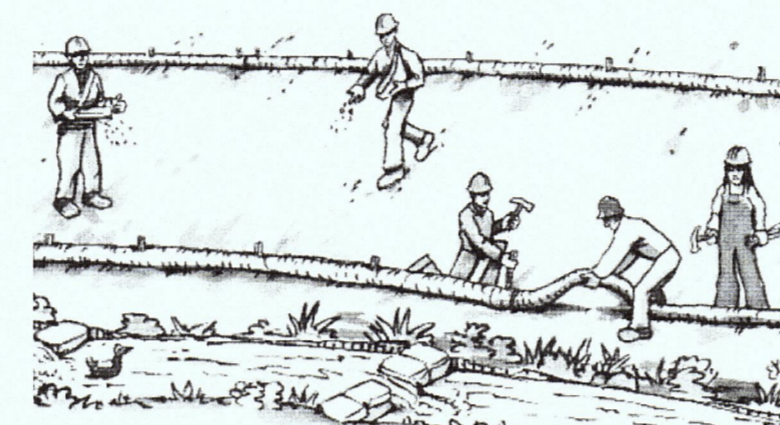
### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

### Spill Prevention and Control

- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthwork & Contaminated Soils



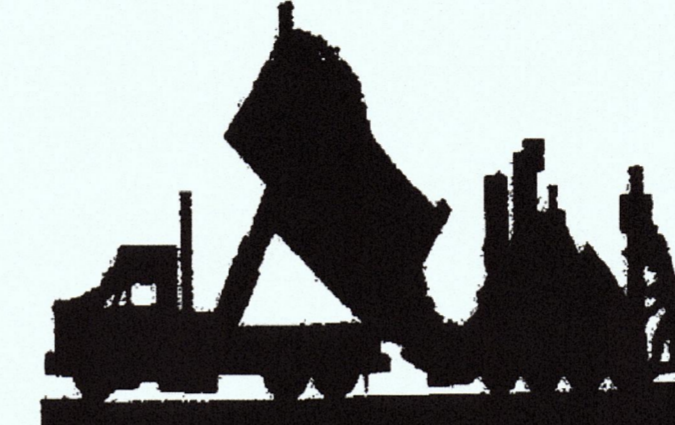
### Erosion Control

- Schedule grading and excavation work for dry weather only.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

### Sediment Control

- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- Keep excavated soil on the site where it will not collect into the street.
- Transfer excavated materials to dump trucks on the site, not in the street.
- Contaminated Soils
- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work

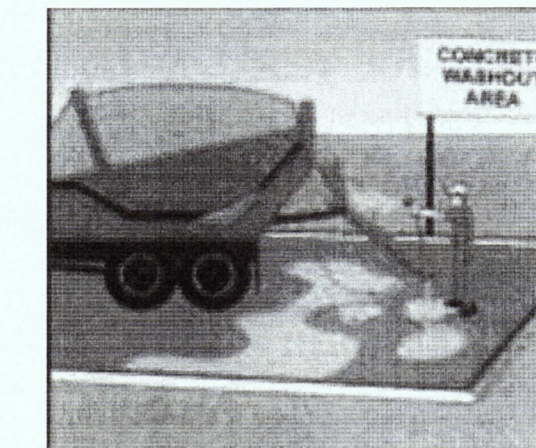


- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

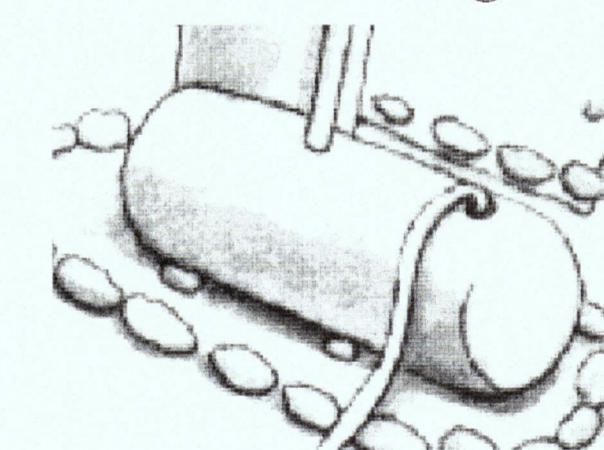
- Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



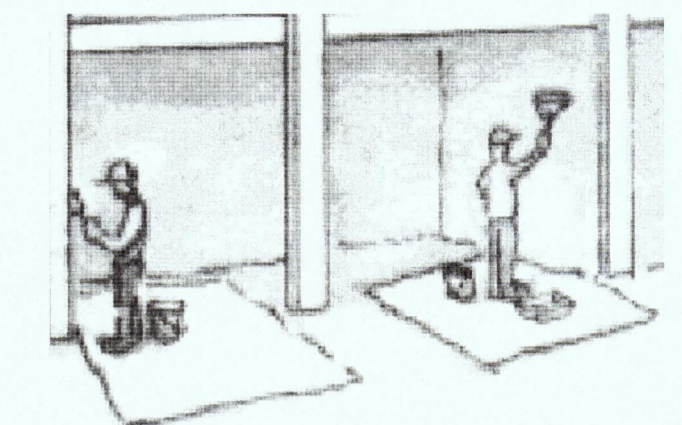
- Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

## Dewatering



- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

## Painting & Paint Removal



### Painting cleanup

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

### Paint removal

- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

## Landscape Materials



- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**



**CHRIS RIDGWAY ARCHITECT, INC.**

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PH#: 650.622.6301 WEB SITE: CRARCHITECT.NET  
610 POPLAR STREET, HALF MOON BAY, CA 94019

FERDINAND AVE. EL GRANADA  
A.P.N. 041-222-240  
**PEREZ, LUIS & LORENA**  
NEW RESIDENCE AND GUEST HOUSE

DATE  
3/22/18

SHEET  
**BMPI**